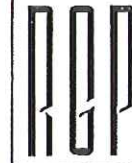
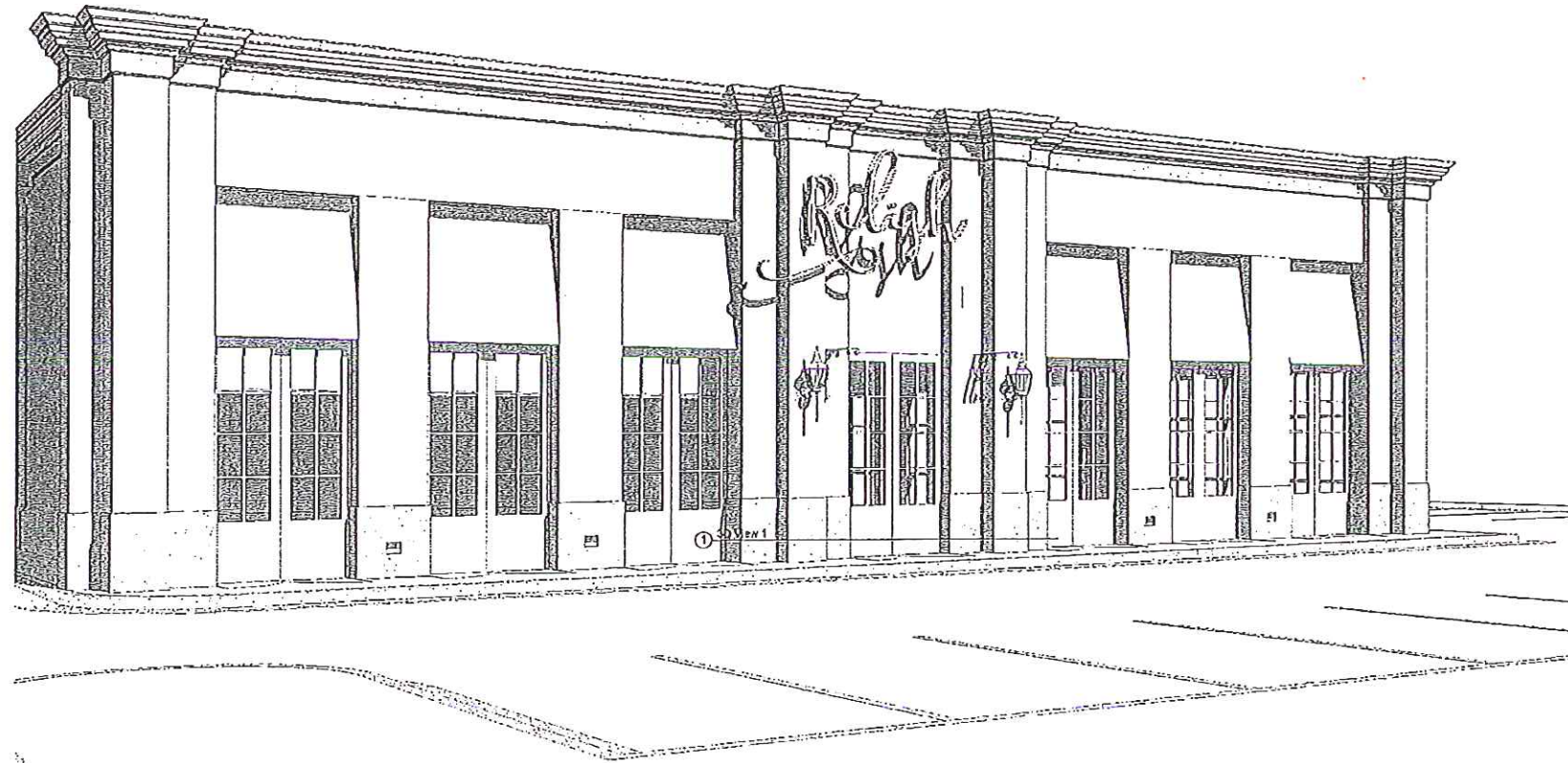


Original Site Plan P+Z 7-13-17 B.O.S 8-21-17



Robert G. Polk,  
Architect, P.A.

708 South President  
Jackson, MS 39201  
601-720-1000 voice  
EMAX  
robertgpolk@aol.com



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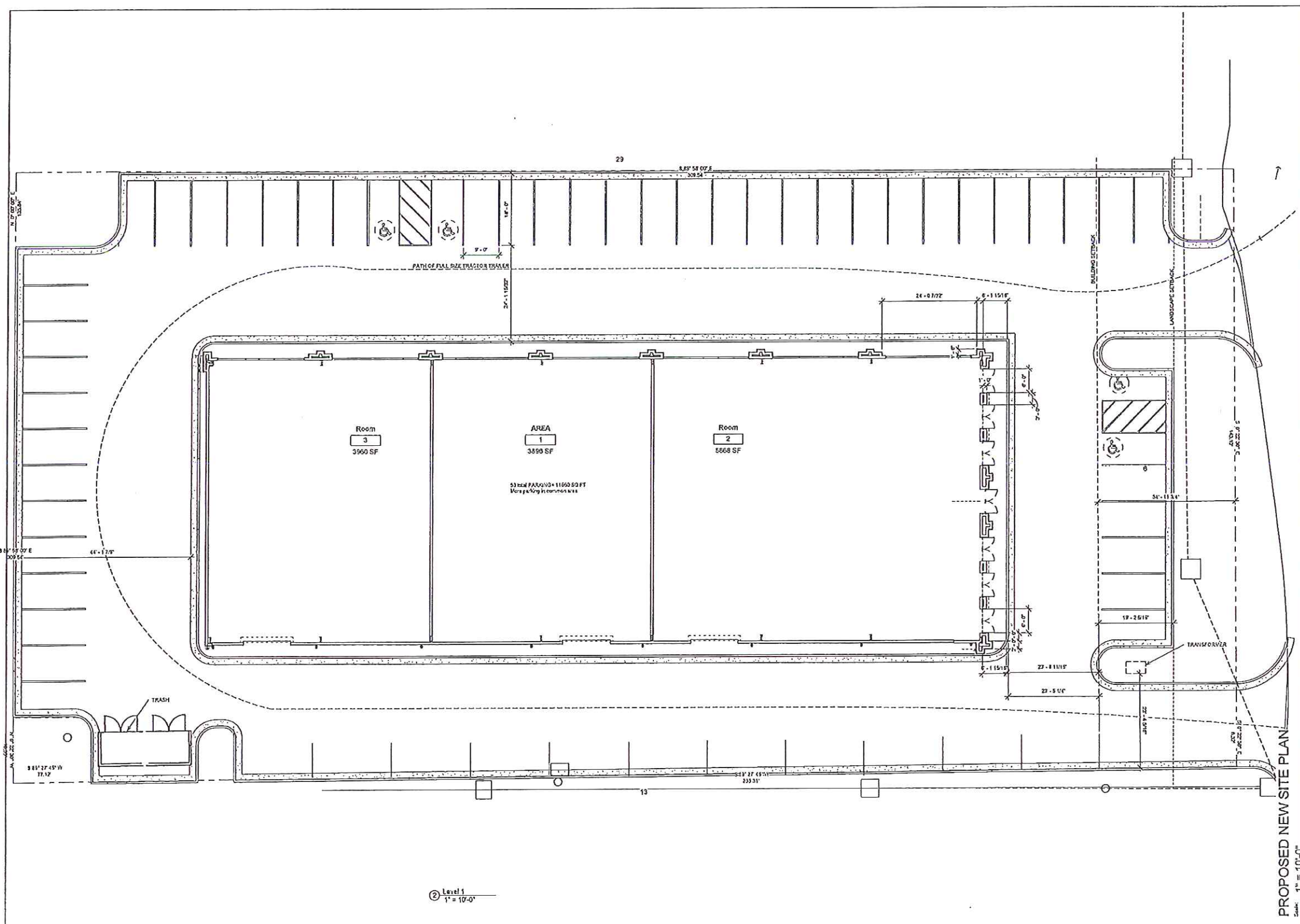
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Owner  
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NOTED:  
7/17/2017  
8:43:58 AM

COVER  
Scale

SHEET  
A0



**REP**

**Robert G. Polk,  
Architect, P.A.**

706 South Pine Street  
Jackson, MS 39201  
601.727.1800 voice  
EMAIL: [rpolk@robpolkarchitect.com](mailto:rpolk@robpolkarchitect.com)

Professional Seal: Robert G. Polk, Architect, P.A., License No. 18895, Jackson, MS, State of Mississippi

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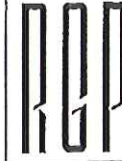
**PROPOSED NEW SITE PLAN**  
Scale: 1" = 10'-0"

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**A1**

② Level 1  
1" = 10'-0"



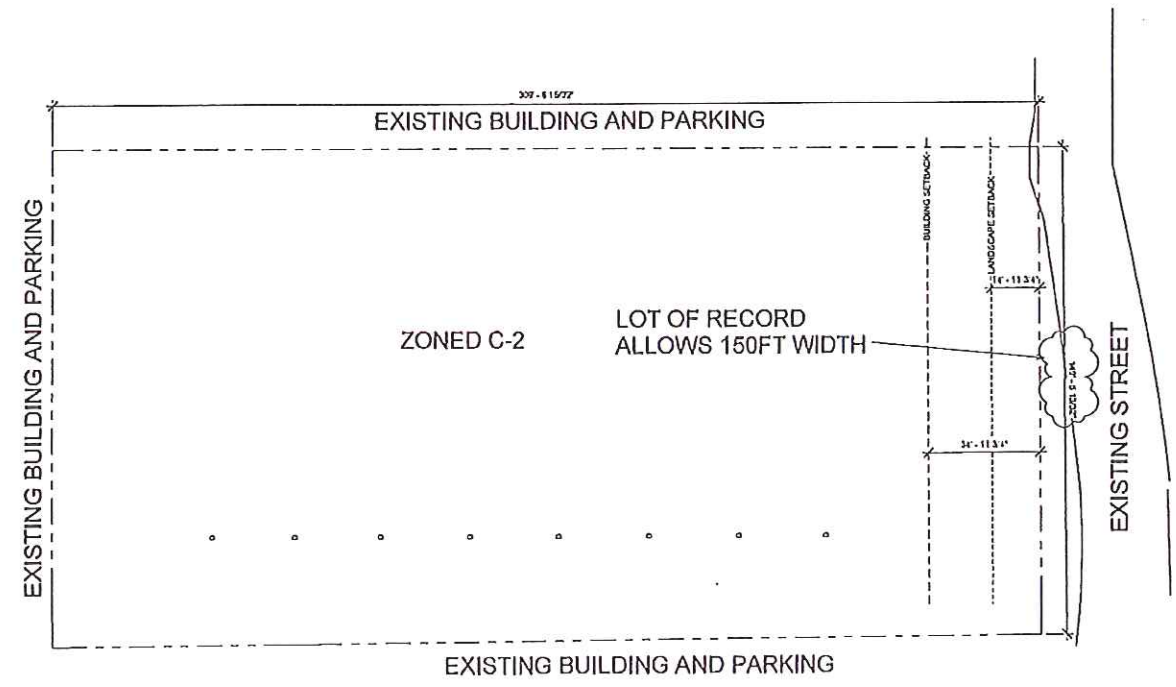
Robert G. Polk,  
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224 So. Annapolis  
Jackson, MS 39201  
601-770-1856 voice  
EMAIL:  
rpolk@rpolkarchitect.com



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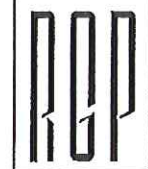


ZONING/SETBACKS  
Scale 3/64" = 1'-0"

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A2



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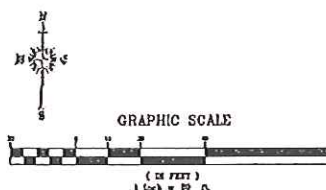
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A3

# BOUNDARY & TOPOGRAPHIC SURVEY CERTAIN PROPERTIES

SITUATED IN THE NW 1/4 OF SECTION 28,  
AND IN THE NE 1/4 OF SECTION 29, ALL IN T8N-R2E  
MADISON COUNTY, MISSISSIPPI



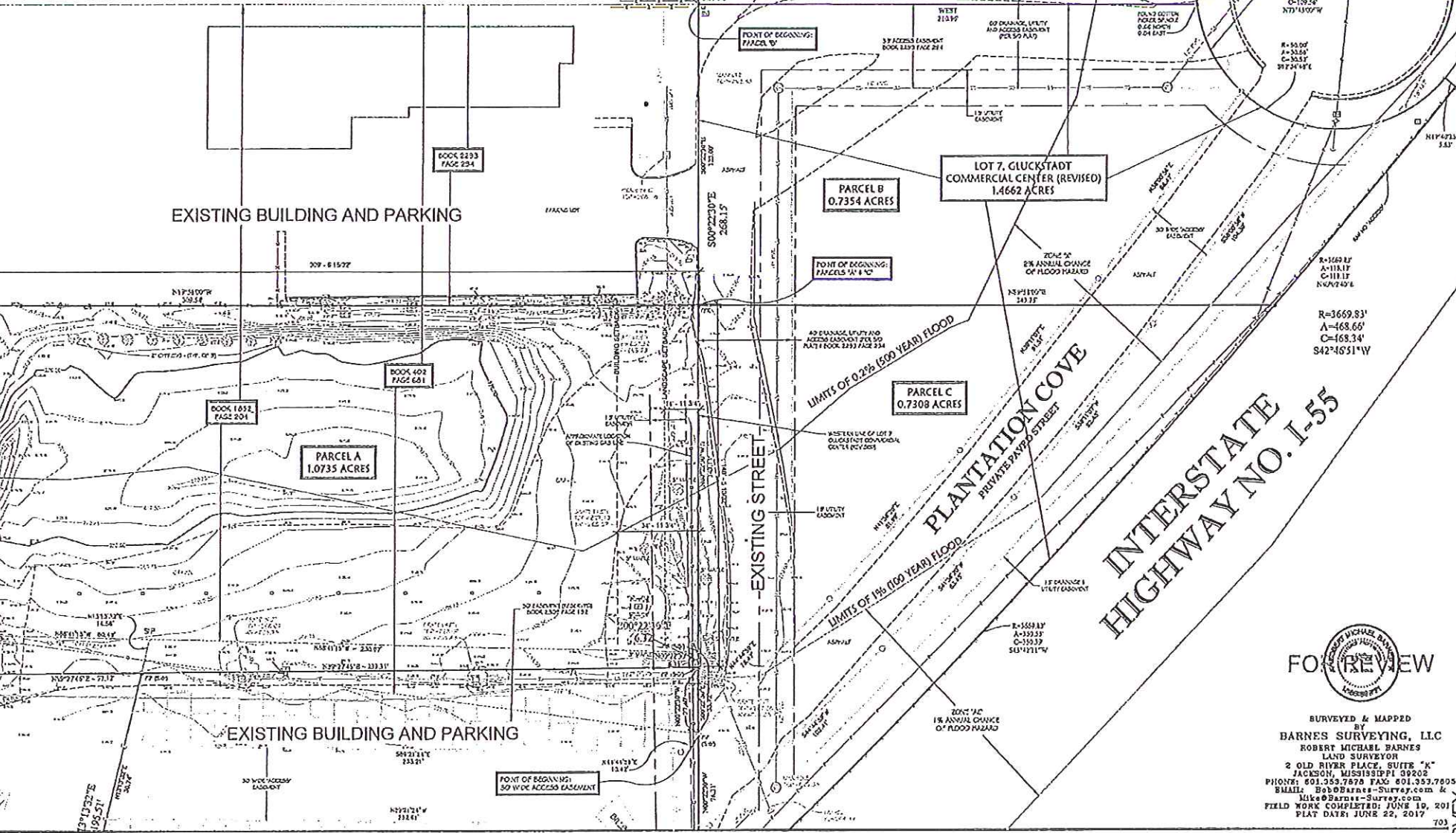
**REFERENCE MATERIALS USED:**  
TERRACED SURFACE CONTROL  
CONVENTIONAL CENTER POINTS  
PART OF SURVEY OF CERTAIN  
CONVENTIONAL CENTER POINTS  
CONVENTIONAL  
BOOK 2333 PAGE 234  
BOOK 2334 PAGE 234  
BOOK 2335 PAGE 234  
BOOK 2336 PAGE 234  
BOOK 2337 PAGE 234

POINT OF CONVERGENCE  
NORTHEAST CORNER OF LOT 7  
GLUCKSTADT COMMERCIAL  
CENTER (REVISED)

- LEGEND**
- EJECTION BOX
- ▭ TRENCH PROFILES
- ▭ TRENCH PROFILES
- ▭ TRENCH PROFILES
- SANITARY SERVICE HOLES
- 3" DIA. MANHOLE
- 6" DIA. MANHOLE
- 12" DIA. MANHOLE
- 18" DIA. MANHOLE
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- 1500" DIA. MANHOLE

EXISTING BUILDING AND PARKING

EXISTING BUILDING AND PARKING



SECTION 28

SECTION 29

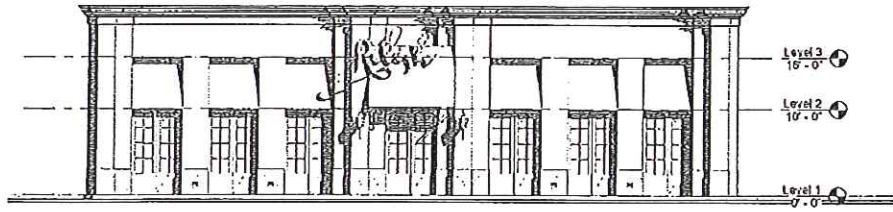
SECTION 30

SECTION 31

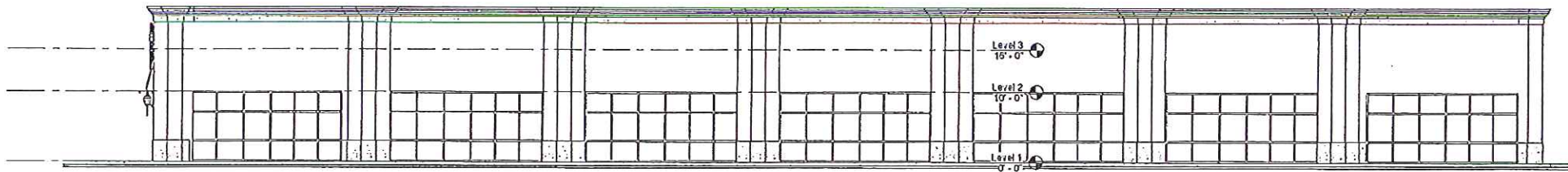
EXISTING SITE PLAN  
3/8" = 1'-0"

FOR REVIEW  
SURVEYED & MAPPED  
BY  
BARNES SURVEYING, LLC  
ROBERT MICHAEL BARNES  
LAND SURVEYOR  
2 OLD RIVER PLACE, SUITE "K"  
JACKSON, MISSISSIPPI 39202  
PHONE: 601.259.7878 FAX: 601.353.7805  
EMAIL: Bob@Barnes-Survey.com &  
Mike@Barnes-Survey.com  
FIELD WORK COMPLETED: JUNE 19, 2017  
PLAT DATE: JUNE 22, 2017

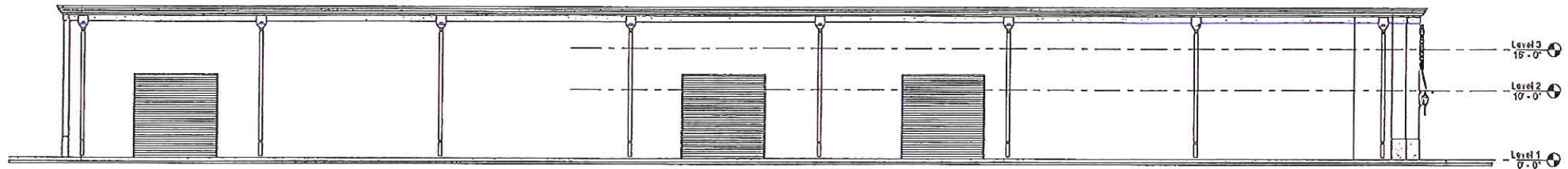
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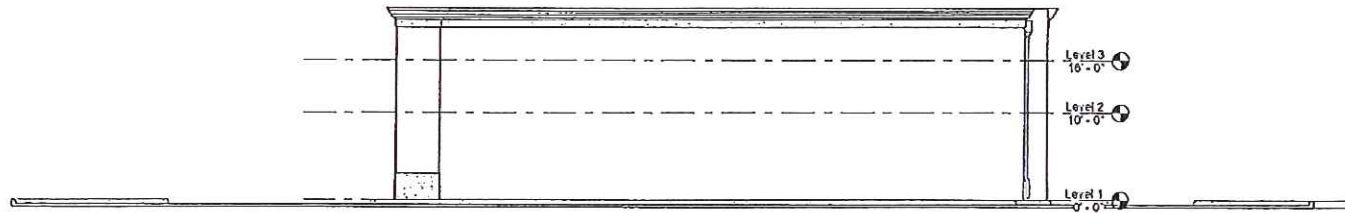
1 East  
1/8" = 1'-0"



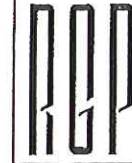
2 North - Front  
1/8" = 1'-0"



3 South - Rear  
1/8" = 1'-0"



4 West  
1/8" = 1'-0"



Robert G. Polk,  
Architect, P.A.

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Jackson, NJ 07031  
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856.723.1826 fax  
RGP@polkarchitect.com



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Unnamed  
Scale: 1/8" = 1'-0"

RELISH  
Owner  
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7/7/2017  
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A4

Amended

# Relish

## NOTES FOR CONSTRUCTION

### HVAC

- Quote with and without humidifier

### ELECTRICAL (spec all LED)

-

### PLUMBING

- Add appropriate plumbing for kitchen ( appliances by owner )

-Plumber to include price to run gas to units ( roof, etc.)

### EXTERIOR

-Add quote for roof ladder to west side for roof access

-Aluminum clad doors on east side of building

### INTERIOR

-



## NO CHANGE ORDERS

Please be sure that quotes are thorough. If any unforeseen materials or labor are not currently in plans, please add and include in your quote, as NO change orders will be accepted.

### Provisions For Future Expansion

Please ensure that appropriate measures are taken to allow for all future development including but not limited to plumbing, electrical, water, gas, internet/cable, etc.

ROBERT POLK ARCHITECT, PA

601.720.7655

robertpolkarchitect@gmail.com

KAYCE SAIK Building Owner

601.540.7158

kayce.relish@gmail.com



2'-0"

# DESIGN CENTER PHASE 1



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robertpolkarchitect@gmail.com



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FOR REGULATORY APPROVAL, PERMITTING, OR CONSTRUCTION

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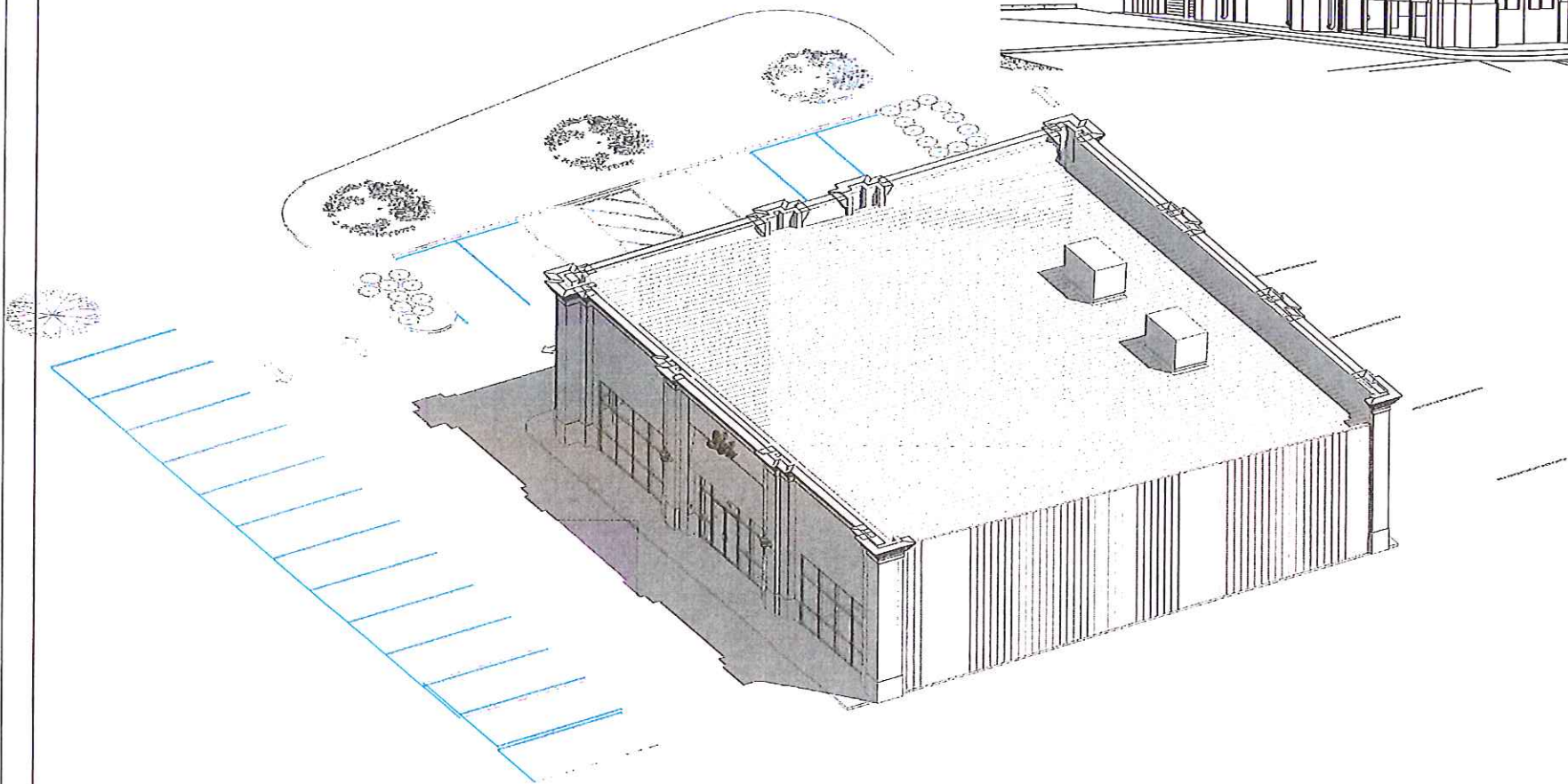
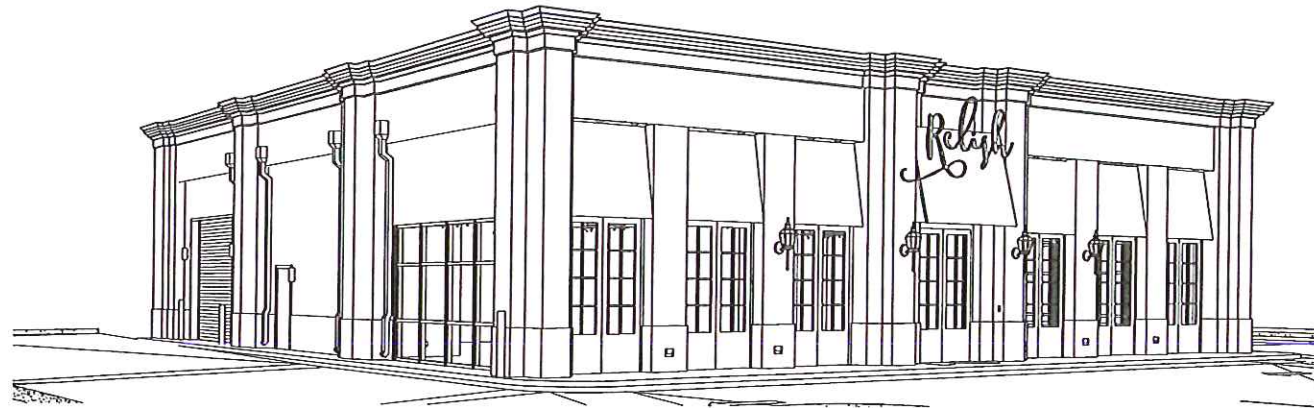
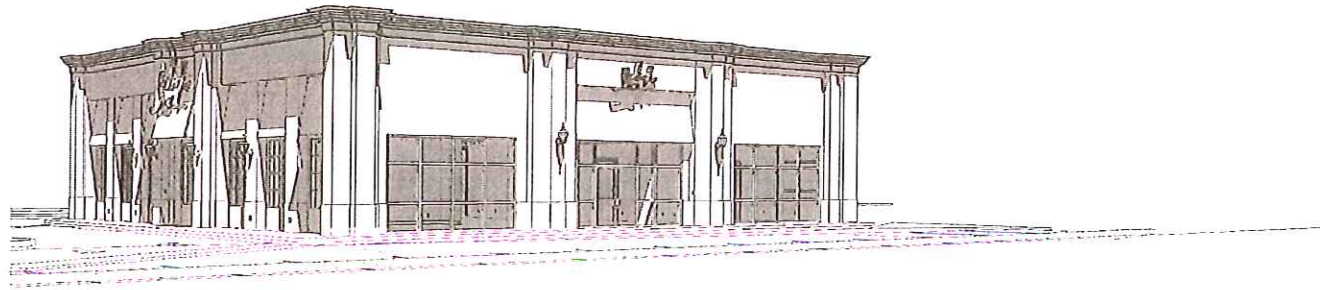
Drawing List	
Sheet Number	Sheet Name
A1	COVER
A2	3d
A3	Interior
C1	SURVEY
C2	LAYOUT
C3	GRADING PLAN
C4	Pavement Jointing
C5	LANDSCAPING PLAN
C6	EROSION CONTROL PLAN
S1	FOUNDATION PLAN
S2	FOUNDATION DETAILS
S3	MBM Structural Frame
A4	ZONING/SETBACKS
A5	PROPOSED PLAN
A6	Exterior Elevations
A7	EXTERIOR ELEVATIONS
A8	EXTERIOR WALL DETAILS
A9	BUILDING SECTION
A10	WALL DETAILS
M1	PLUMBING
M1	Mechanical
E1	LIGHTING
E2	POWER
Grand total 23	

COVER  
Scale:

RELISH  
Relish  
Plantation Cove  
Cluckstad, MS

PLOTTED:  
10/2/2017  
11:08:15  
AM

SHEET  
A1



**REP**

**Robert G. Polk,  
Architect, P.A.**

738 South President  
Jackson, MS 39201  
601-720-7856-voice  
EMAIL:  
robertpolkarchitect@gmail.com



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**CONSTRUCTION  
PRINTS  
FOR REGULATORY APPROVAL,  
PERMITTING, OR CONSTRUCTION**

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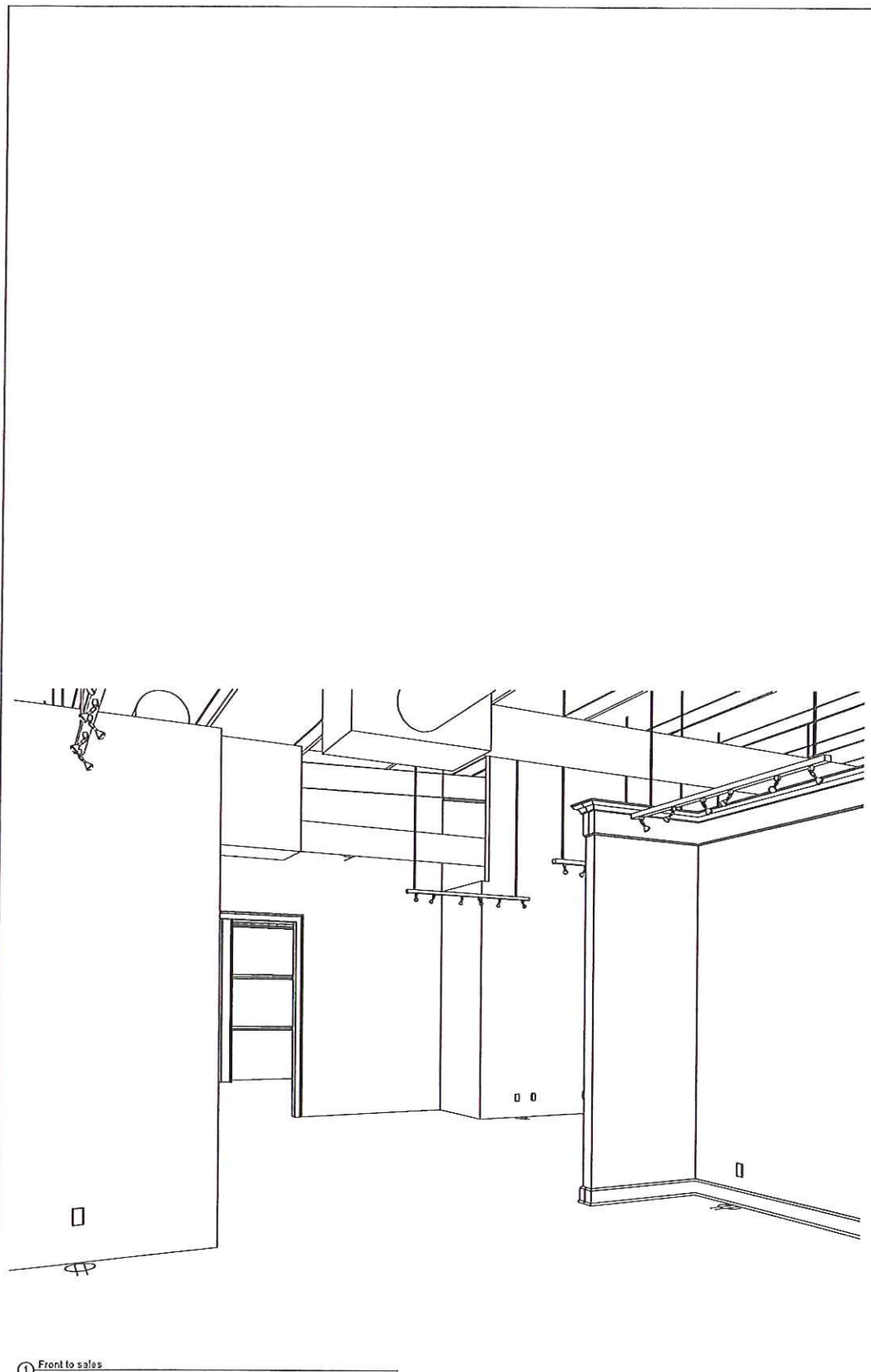
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Relish  
Plantation Cove  
Gluckstadt, MS

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AM

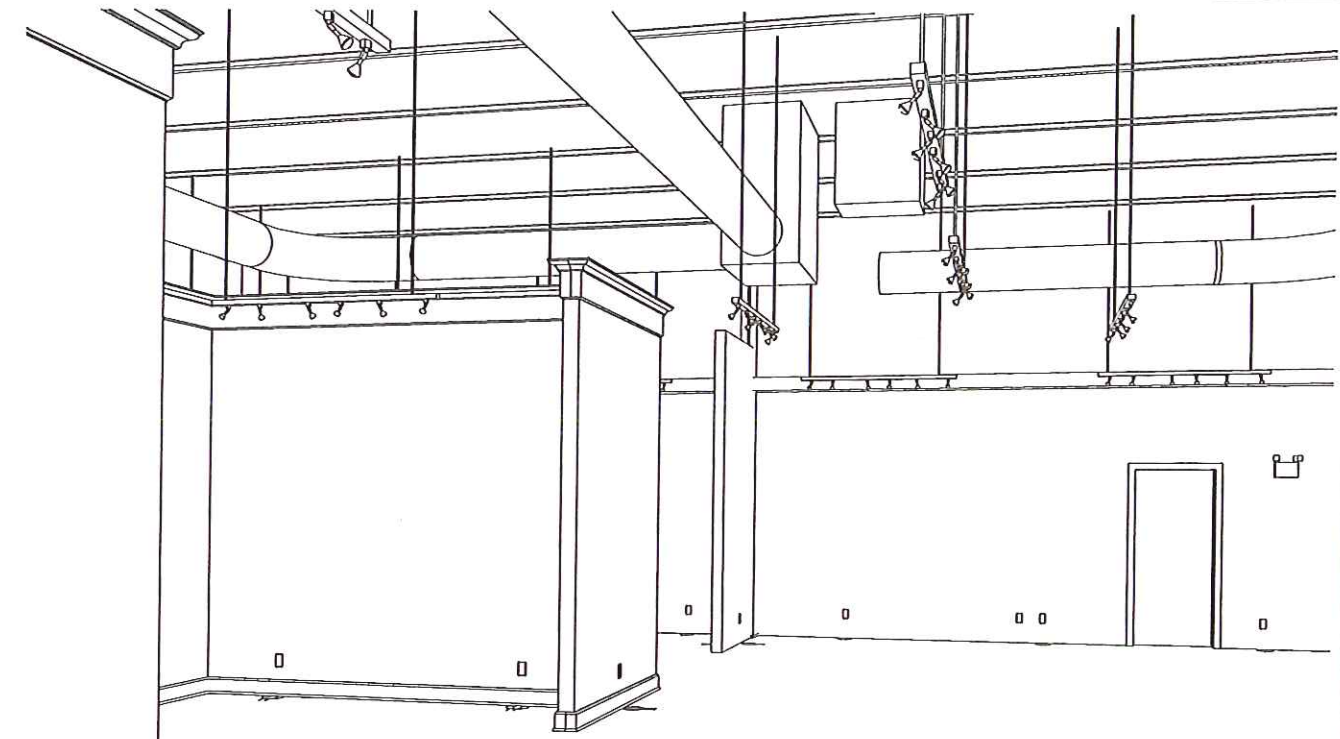
3d  
Scale:

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A2

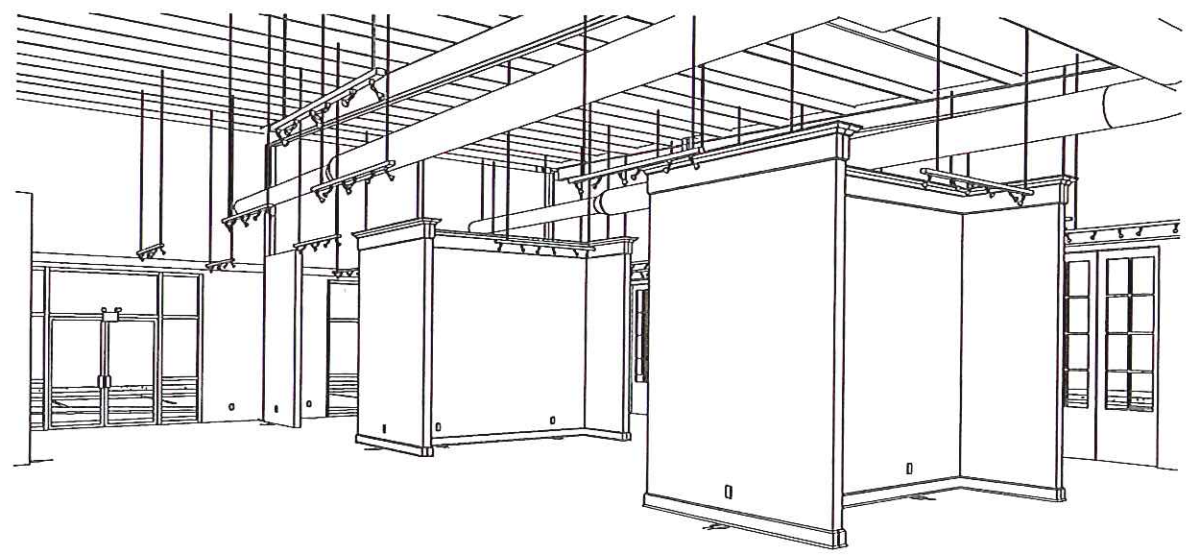




① Front to sales



③ Sales to front



② Storage to front



Robert G. Polk,  
Architect, P.A.

735 South President  
Jackson, MS 39201  
601-720-1655-voice  
EMAIL:  
roberpolkarchitect@gmail.com



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**CONSTRUCTION PRINTS**  
FOR REGULATORY APPROVAL, PERMITTING, OR CONSTRUCTION

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Interior  
Scale:

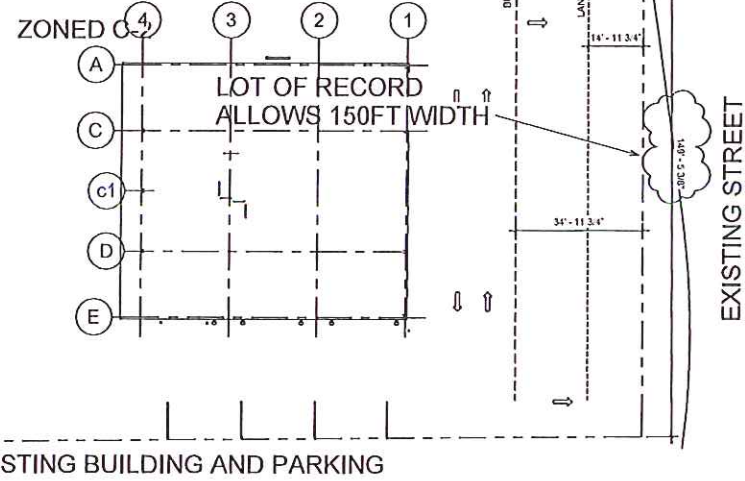
RELISH  
Relish  
Plantation Cove  
Gluckstadt, MS

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10/2/2017  
11:08:27  
AM

SHEET  
A3

EXISTING BUILDING AND PARKING

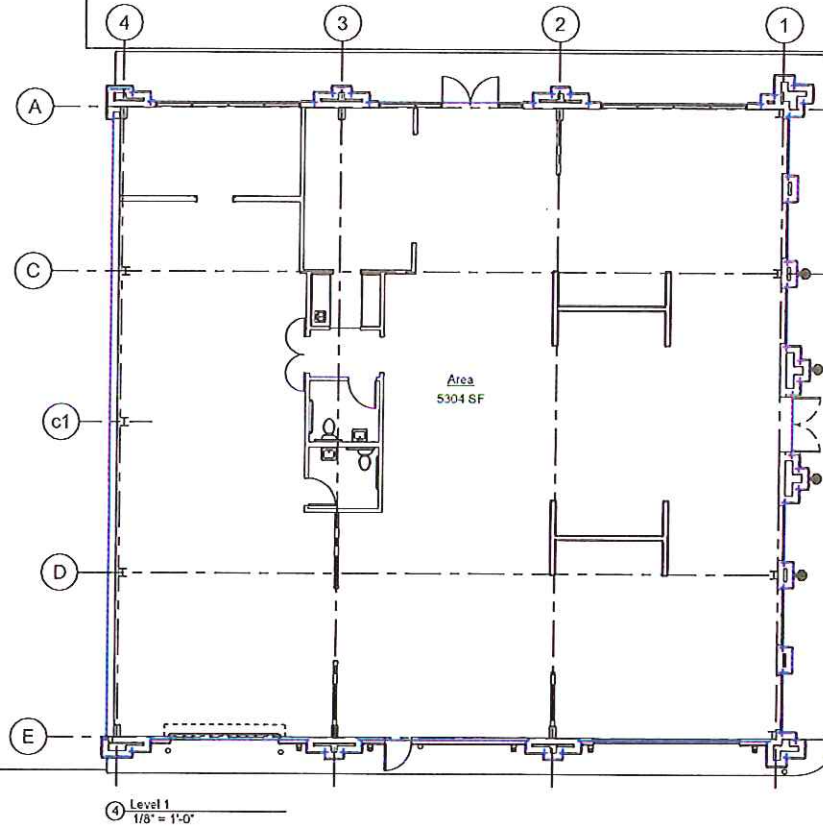
EXISTING BUILDING AND PARKING



FOR MAD COUNTY  
1" = 20'-0"

EXISTING BUILDING AND PARKING

EXISTING STREET



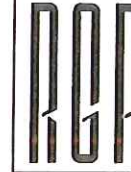
Level 1  
1/8" = 1'-0"

THIS PROJECT IS NEW CONSTRUCTION  
 PROJECT ADDRESS  
 RELISH  
 PLANTATION COVE  
 GLUCKSTADT, MS  
 OCCUPANCY CLASSIFICATION  
 BUSINESS  
 TYPE OF CONSTRUCTION  
 TYPE II B, UNPROTECTED, NOT SPRINKLED.  
 SQUARE FOOTAGES  
 PER TABLE 603, ONE-STORY - STORAGE, NOT SPRINKLED 23,000 SQUARE FEET MAXIMUM, 3 STORES  
 THIS PROJECT IS 5,304 SQUARE FEET GROSS.  
 CONSTRUCTION TO BE IN ACCORDANCE WITH THE FOLLOWING CODES  
 ADA-AG 2010  
 ELECTRICAL: 2012, NEC 2005,  
 PLUMBING 2012, FIXTURES TABLE 2602.1, IBC 2012  
 MINIMUM CORRIDOR AND STAIR WIDTH, 44 INCHES  
 MINIMUM CLEAR OF ENING OF EXIT DOORS 32 INCHES  
 NUMBER OF STORES - 1  
 MAXIMUM TRAVEL DISTANCE TO EXIT ALLOWED TABLE 1016.2 B, (NOT SPRINKLED) 200 FT.  
 CORRIDOR FIRE RESISTANCE RATINGS - TABLE 1018.1 B, NON SPRINKLED - 1 HOUR.  
 OCCUPANTS BY AREA - TENANT AREA(100) = 5304/100=54  
 PEOPLE TABLE 1004.1.2 BUSINESS AREAS 100 (p=115)  
 CONTROLLING EXIT NUMBER - 54  
 LS101 - 2/3 ON ENTRY = 54 X 2 = 108" MINIMUM - 35", 72" PROVIDED.  
 SEPARATION OF EXITS- 1/2 DIAGONAL DISTANCE (IF TENANT SPACE) 69'-2" PROVIDED  
 DIAGONAL DISTANCE 137'-0" = 53'-6" MINIMUM SEPARATION  
 NUMBER OF EXITS REQUIRED (902 TABLE 1018.1) 2, 3 PROVIDED

FIRE EXTINGUISHERS TO BE PROVIDED AND LOCATED IN COUNT AND LOCATION AS REQUIRED BY FIRE MARSHAL

NOTICE: Robert G. Polk, Architect will not be providing onsite observation of the project construction as part of this contract.

1. ALL DRAWINGS AND COPIES OF SAME ARE INSTRUMENTS OF SERVICE AND AS SUCH REMAIN THE PROPERTY OF THE ARCHITECT. THEY ARE TO BE USED ONLY WITH RESPECT TO THIS PROJECT.
2. THE DRAWINGS, SPECIFICATIONS, AND AGREEMENT, ALONG WITH ANY ADDENDA, CONSTITUTE THE CONSTRUCTION DOCUMENTS AND ARE TO BE USED AS A COMPLETE SET. THE DRAWING DOCUMENTS AND THE SPECIFICATIONS ARE NOT TO BE SPLIT APART, PARTIALLY COPIED, OR DISTRIBUTED IN PARTS.
3. THE WORK DESCRIBED IN THE ARCHITECTURAL, STRUCTURAL, MECHANICAL, ELECTRICAL, CIVIL, OR OTHER DIVISIONS OF THE CONTRACT DOCUMENTS ARE NOT LIMITED TO THAT PARTICULAR SECTION, BUT ARE SUBJECT TO THE CONDITIONS AND CONSTRUCTION DESCRIBED IN EACH AND EVERY SECTION OF THE CONTRACT DOCUMENTS.
4. THE CONTRACT DOCUMENTS COMPRISING THIS SET OF DOCUMENTS INCLUDING ANY AND ALL ADDENDA, FIELD DIRECTIVES, AND CHANGE ORDERS ARE COMPOSED OF ALL SECTIONS OF THE CONTRACT DOCUMENTS. NO SECTION OF THE DOCUMENTS IS EXCLUSIVE OF THE REMAINING DOCUMENTS.
5. ANY DISCREPANCY OCCURRING IN THESE DOCUMENTS SHOULD BE IMMEDIATELY BROUGHT TO THE ATTENTION OF THE ARCHITECT PRIOR TO ADDITIONAL WORK BEING PERFORMED.
6. INSTANCES NOTED AS "TYPICAL" SHALL APPLY IN ALL CASES UNLESS OTHERWISE NOTED.
7. WHERE NO SPECIFIC DETAIL IS SHOWN THE CONSTRUCTION SHALL BE IDENTICAL TO THAT INDICATED FOR LIKE CASES OF CONSTRUCTION.
8. IN NO CASE SHALL THE DOCUMENTS BE SCALED. CONSULT THE ARCHITECT IF ADDITIONAL DIMENSIONS ARE REQUIRED.
9. CONTRACTOR SHALL VERIFY ALL DIMENSIONS, ELEVATIONS, AND LOCATIONS OF EXISTING CONDITIONS AFFECTING THIS PROJECT PRIOR TO FABRICATION OR INSTALLATION OF NEW WORK. NOTIFY THE ARCHITECT OF ANY DISCREPANCIES. ADJUST NEW CONSTRUCTION TO ALLOW FOR ACTUAL FIELD CONDITIONS.
10. ALL WORK SHALL BE PERFORMED IN ACCORDANCE WITH GOVERNING CODES AND REGULATIONS.
11. WHEN A PRODUCT IS NAMED SPECIFICALLY TO BE INCLUDED IN THE WORK, THAT PRODUCT'S SPECIFICATION AS DRAFTED BY THE MANUFACTURER IS AUTOMATICALLY ATTACHED TO THE CONTRACT DOCUMENTS AS PART OF THE WORK. THE ARCHITECT SHALL BE CONSULTED IF A CONFLICT RESULTS BETWEEN THE MANUFACTURER'S SPECIFICATION OR NOTES IN THE CONTRACT DOCUMENTS.



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CONSTRUCTION  
PRINTS  
FOR REGULATORY APPROVAL  
PERMITTING, OR CONSTRUCTION

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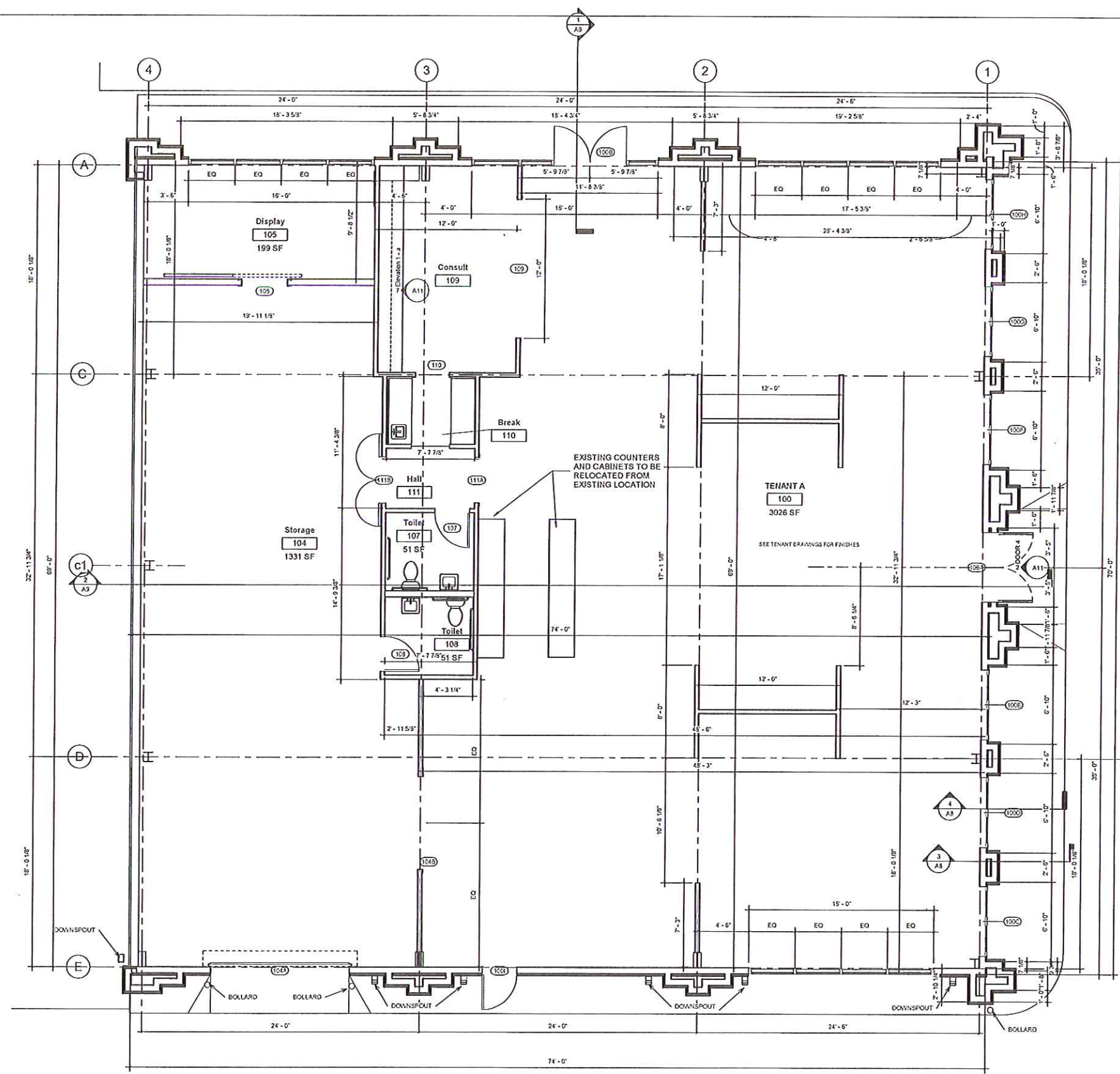
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Scale: As indicated

RELISH  
Relish  
Plantation Cove  
Gluckstadt, MS

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11:08:30  
AM

SHEET  
A4

Site  
1" = 20'-0"



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**CONSTRUCTION PRINTS**  
FOR REGULATORY APPROVAL PERMITTING, OR CONSTRUCTION

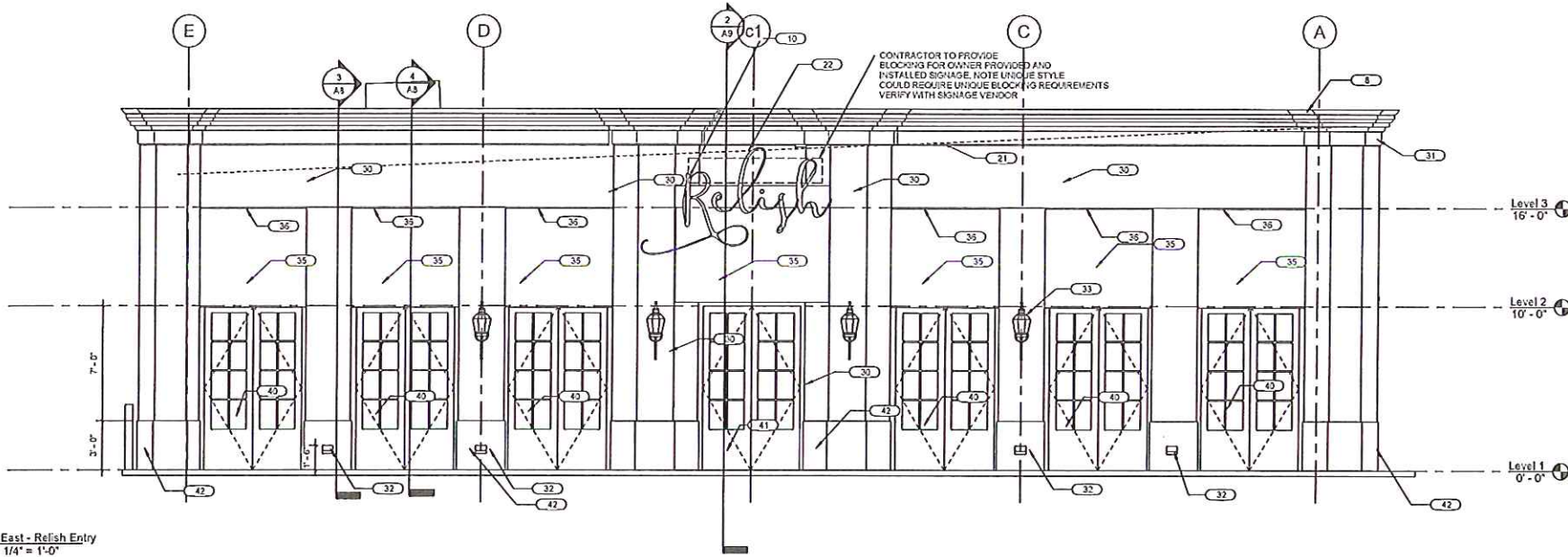
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**PROPOSED PLAN**  
Scale: 1/4" = 1'-0"

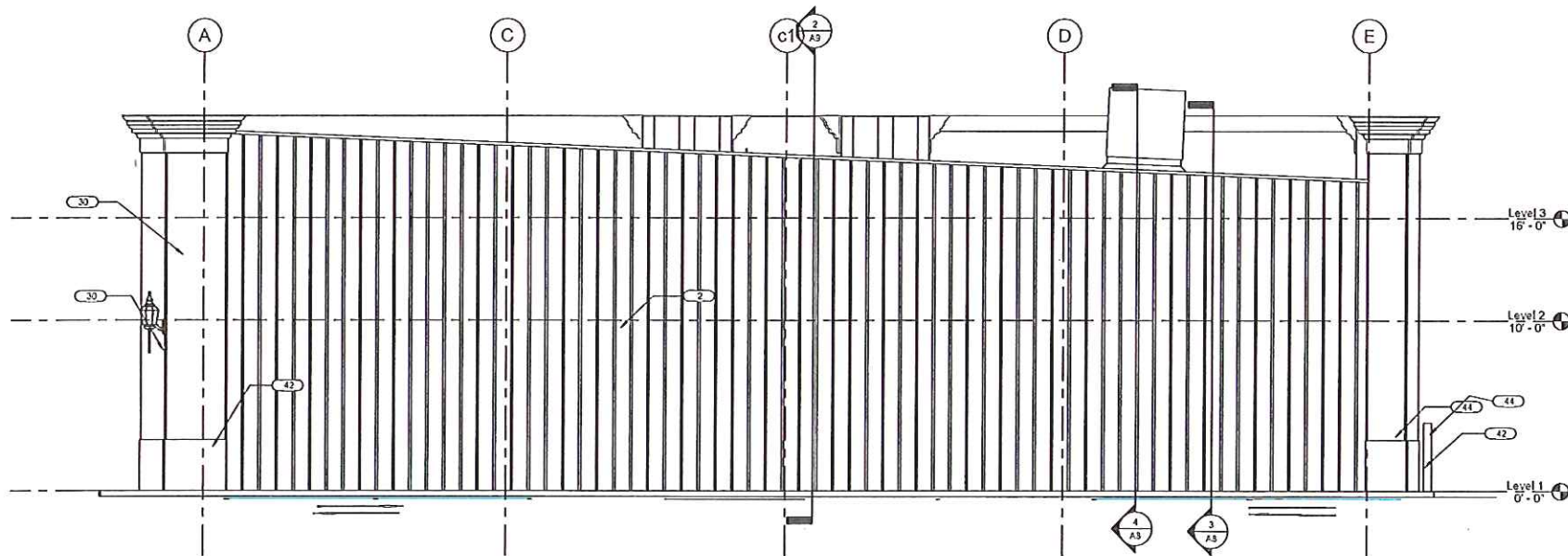
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Gluckstadt, MS

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AM

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1 East - Relish Entry  
1/4" = 1'-0"



4 West  
1/4" = 1'-0"

Keynote Legend	
Key Value	Keynote Text
2	METAL SIDING
3	ALUMINUM STOREFRONT SYSTEM
8	PREFINISHED METAL FASCIA
10	METAL SIGN SUPPLIED AND INSTALLED BY OWNER
15	EXTERIOR LIGHT FIXTURE
21	DASHED LINE OF ROOF AND RTU FOR REFERENCE
22	GC TO VERIFY AND INSTALL BLOCKING AS REQUIRED BY SIGNAGE VENDOR
29	EXPANSION JOINT WITH BACKER ROD AND SEALANT
30	ACRYLIC COATING ON HARD ROCK STUCCO
31	ACRYLIC COATING EXTERIOR INSULATED FINISH SYSTEM ON FORMED MOULDING (EIFS)
32	SIDEWALK WALL WASH
33	OWNER PROVIDED CONTRACTOR INSTALLED GAS WALL LANTERN
34	METAL GUTTERING AND DOWNSPOUTS
35	METAL AWNING
36	SOFFIT LIGHTING
37	METAL ROOFING
38	METAL VERTICAL SIDING ON REAR OF PARAPET
39	GLASS STOREFRONT
40	PAINTED WOOD DOORS - FIXED
41	PAINTED WOOD DOORS - OPERABLE
42	ACRYLIC COATING ON HARD ROCK STUCCO WAINSCOT
44	6" CONCRETE FILLED PIPE BOLLARD



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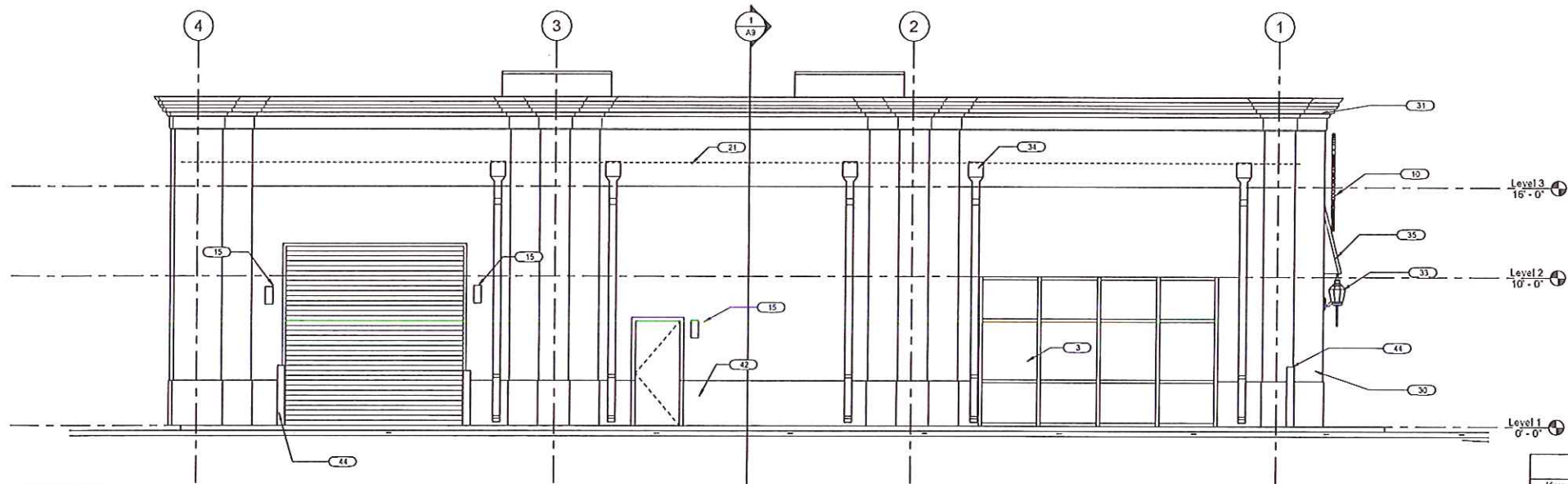
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Exterior Elevations  
Scale: 1/4" = 1'-0"

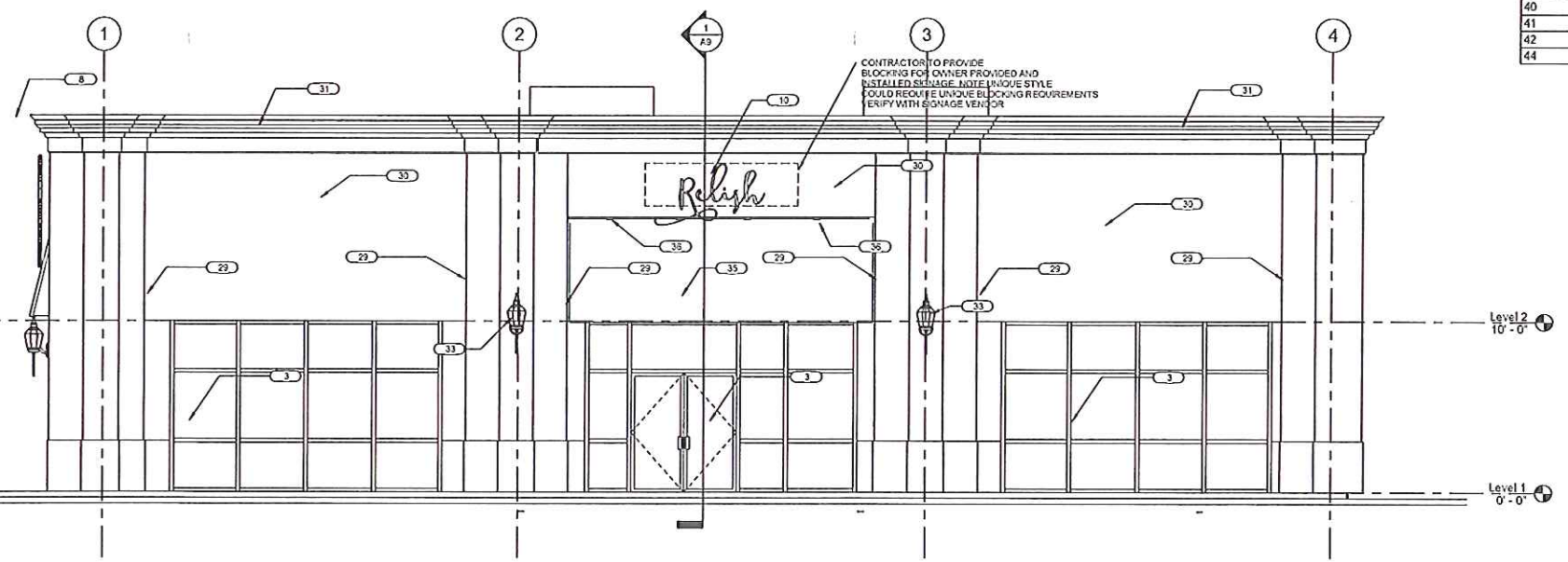
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Relish  
Plantation Cove  
Gluckstadt, MS

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A6



2 South - Rear  
1/4" = 1'-0"



1 North - Front  
1/4" = 1'-0"

Keynote Legend	
Key Value	Keynote Text
2	METAL SIDING
3	ALUMINUM STOREFRONT SYSTEM
8	PREFINISHED METAL FASCIA
10	METAL SIGN SUPPLIED AND INSTALLED BY OWNER
15	EXTERIOR LIGHT FIXTURE
21	DASHED LINE OF ROOF AND RTU FOR REFERENCE
22	GC TO VERIFY AND INSTALL BLOCKING AS REQUIRED BY SIGNAGE VENDOR
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31	ACRYLIC COATING EXTERIOR INSULATED FINISH SYSTEM ON FORMED MOULDING (EIFS)
32	SIDEWALK WALL WASH
33	OWNER PROVIDED CONTRACTOR INSTALLED GAS WALL LANTERN
34	METAL GUTTERING AND DOWNSPOUTS
35	METAL AWNING
36	SOFFIT LIGHTING
37	METAL ROOFING
38	METAL VERTICAL SIDING ON REAR OF PARAPET
39	GLASS STOREFRONT
40	PAINTED WOOD DOORS - FIXED
41	PAINTED WOOD DOORS - OPERABLE
42	ACRYLIC COATING ON HARD ROCK STUCCO WAINSCOT
44	6" CONCRETE FILLED PIPE BOLLARD



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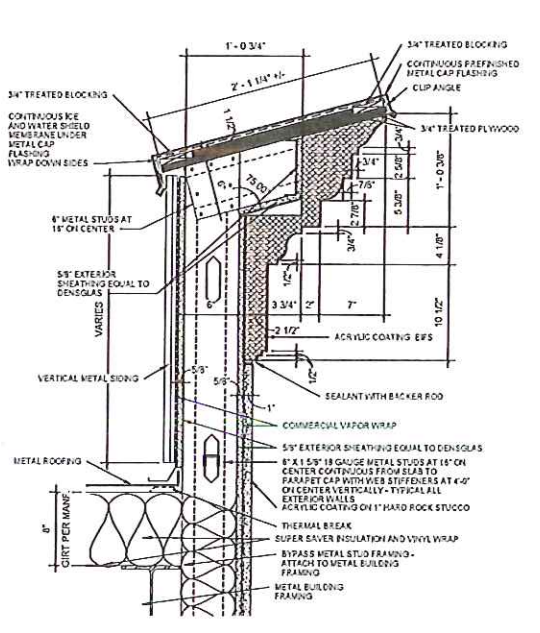
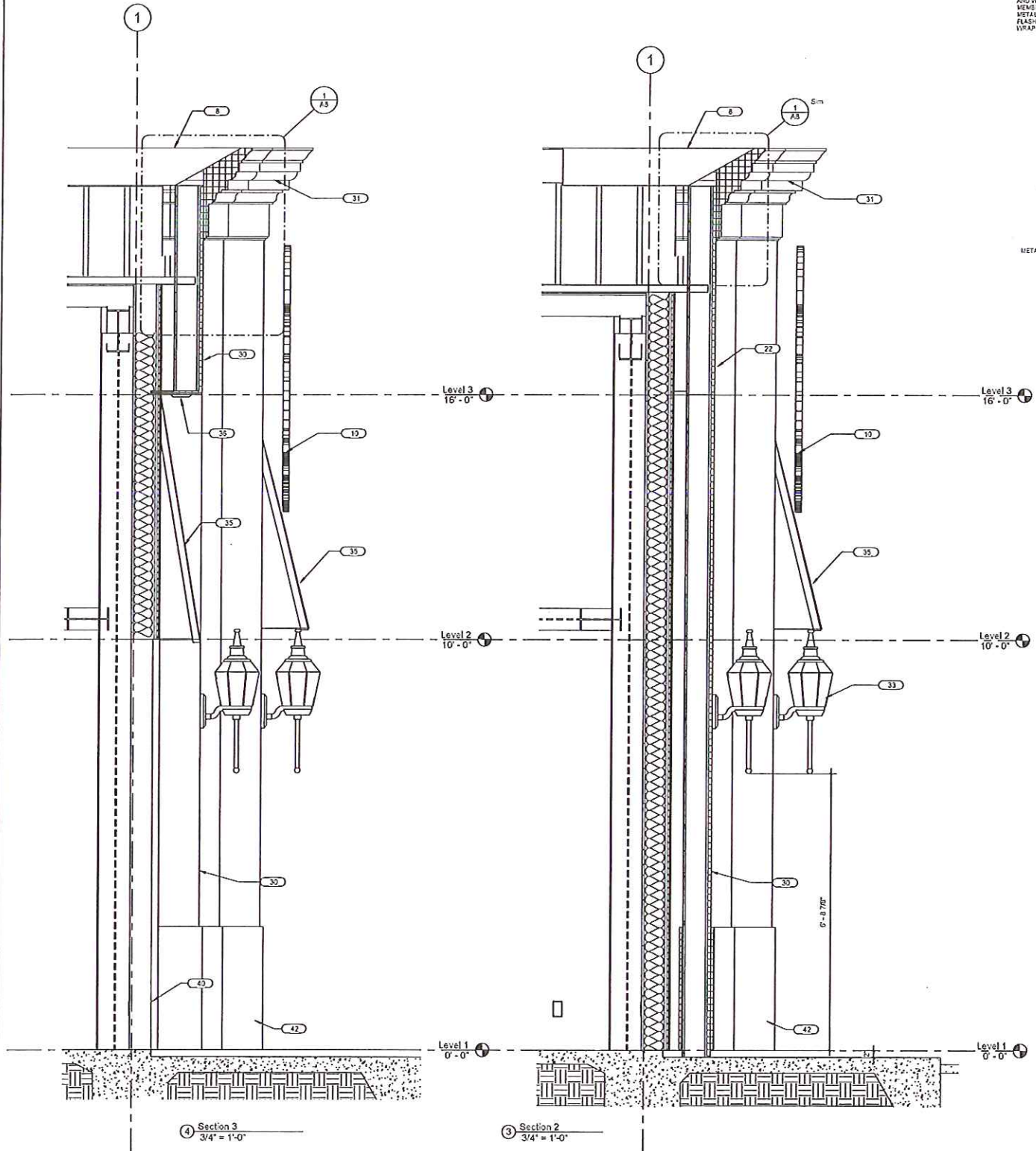
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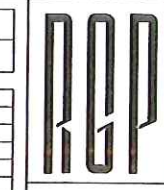
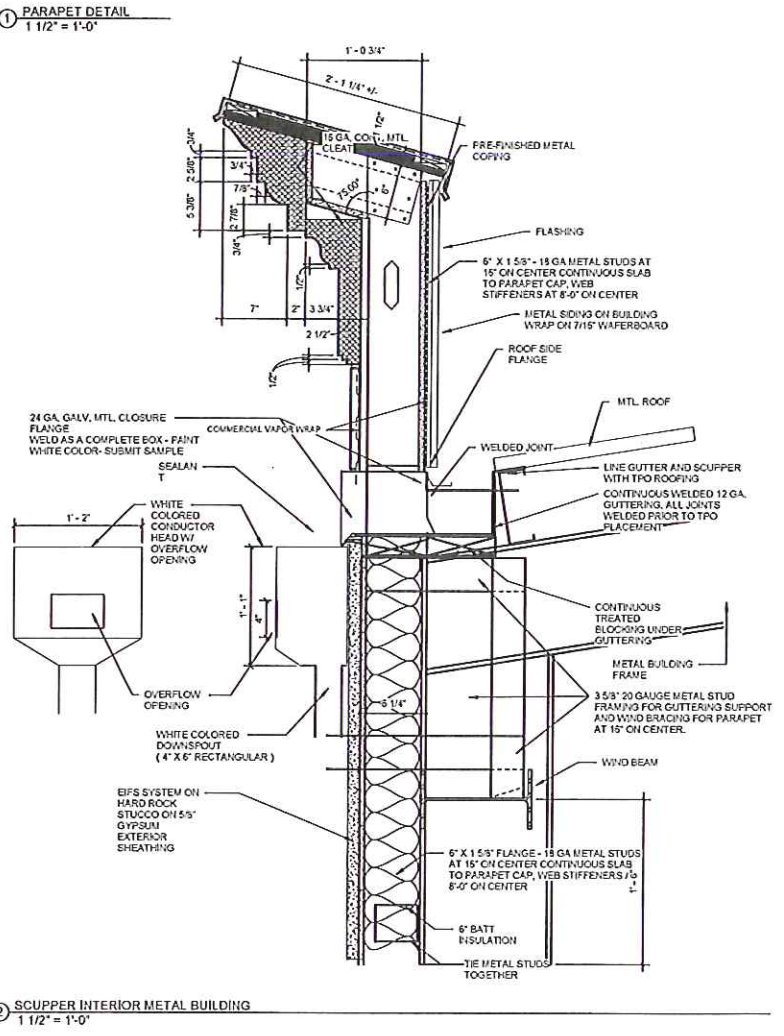
EXTERIOR ELEVATIONS  
Scale: 1/4" = 1'-0"

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Gluckstadt, MS

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Keynote Legend	
Key Value	Keynote Text
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3	ALUMINUM STOREFRONT SYSTEM
8	PREFINISHED METAL FASCIA
10	METAL SIGN SUPPLIED AND INSTALLED BY OWNER
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38	METAL ROOFING
39	METAL VERTICAL SIDING ON REAR OF PARAPET
40	PAINTED WOOD DOORS - FIXED
41	PAINTED WOOD DOORS - OPERABLE
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44	6" CONCRETE FILLED PIPE BOLLARD



**Robert G. Polk,**  
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FOR REGULATORY APPROVAL  
PERMITTING, OR CONSTRUCTION

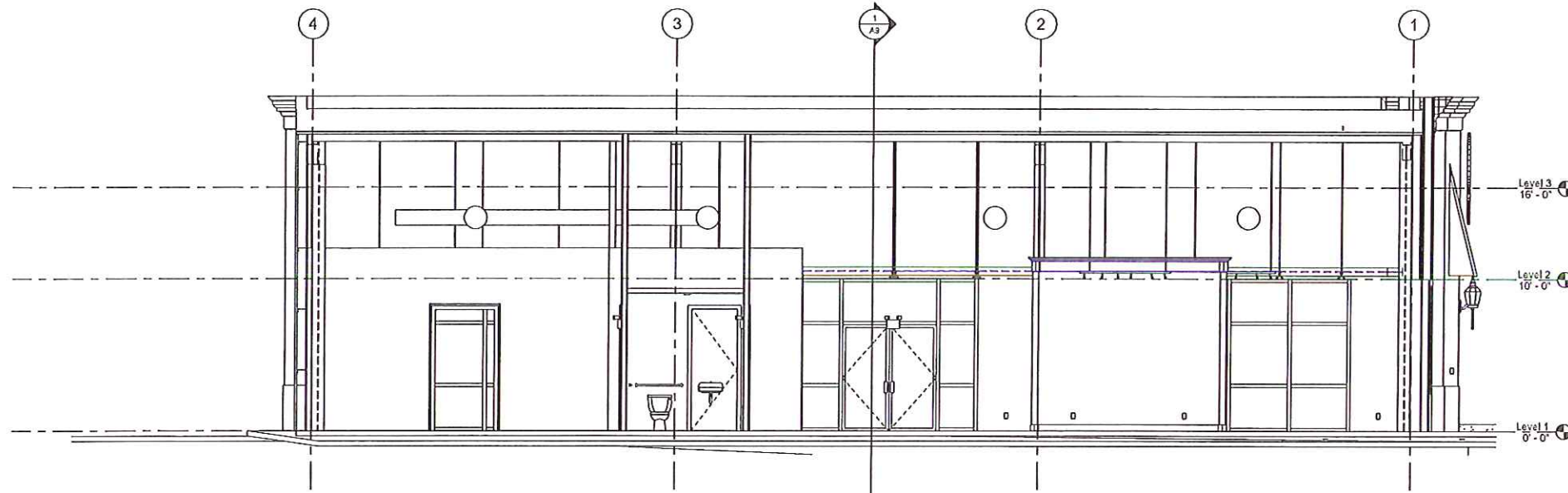
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EXTERIOR WALL DETAILS  
Scale: As indicated

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Relish  
Plantation Cove  
Gluckstadt, MS

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10/2/2017  
11:08:35  
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Keynote Legend	
Key Value	Keynote Text
2	METAL SIDING
3	ALUMINUM STOREFRONT SYSTEM
8	PREFINISHED METAL FASCIA
10	METAL SIGN SUPPLIED AND INSTALLED BY OWNER
15	EXTERIOR LIGHT FIXTURE
21	DASHED LINE OF ROOF AND RTU FOR REFERENCE
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32	SIDEWALK WALL WASH
33	OWNER PROVIDED CONTRACTOR INSTALLED GAS WALL LANTERN
34	METAL GUTTERING AND DOWNSPOUTS
35	METAL AWNING
36	SOFFIT LIGHTING
37	METAL ROOFING
38	METAL VERTICAL SIDING ON REAR OF PARAPET
39	GLASS STOREFRONT
40	PAINTED WOOD DOORS - FIXED
41	PAINTED WOOD DOORS - OPERABLE
42	ACRYLIC COATING ON HARD ROCK STUCCO WAISCOAT
44	6" CONCRETE FILLED PIPE BOLLARD



**Robert G. Polk,  
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rpolk@polkarchitect.com



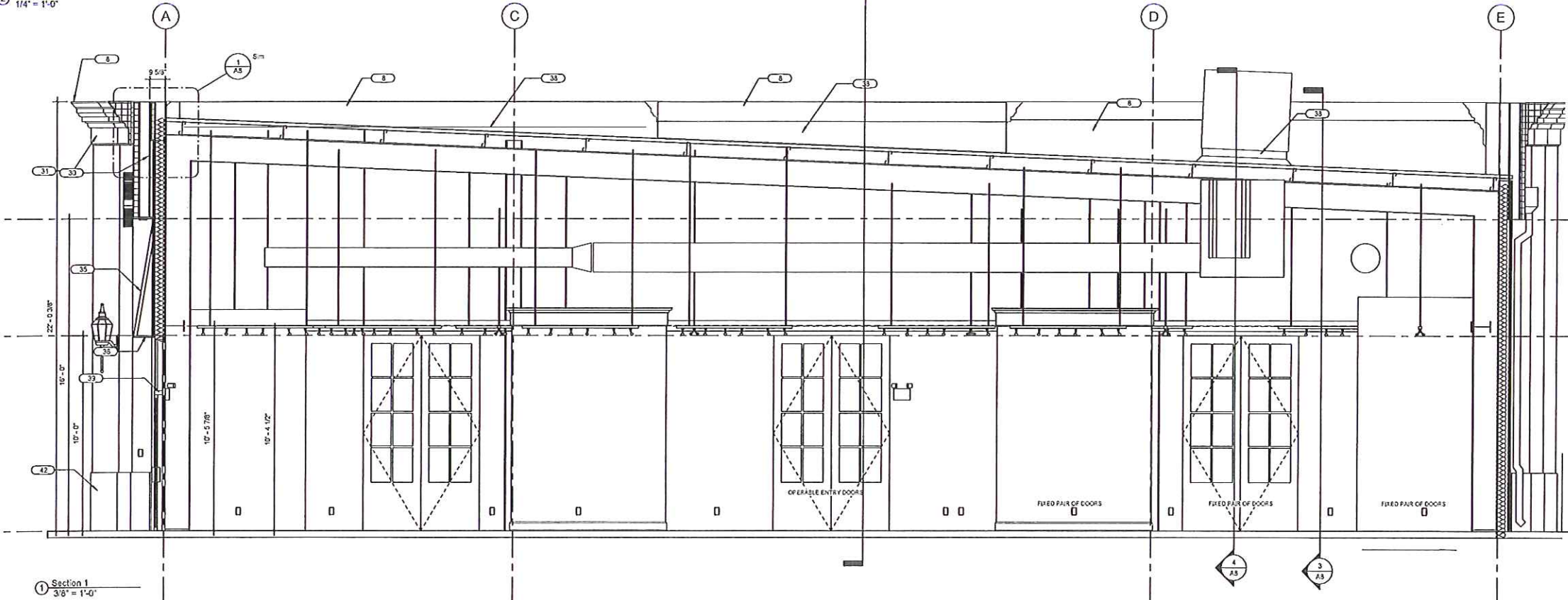
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Section 4  
1/4" = 1'-0"



Section 1  
3/8" = 1'-0"

**BUILDING SECTION**  
Scale: As indicated

**RELISH**  
Relish  
Plantation Cove  
Gluckstadt, MS

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10/2/2017  
11:08:37  
AM

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A9



Robert G. Polk, Architect, P.A.

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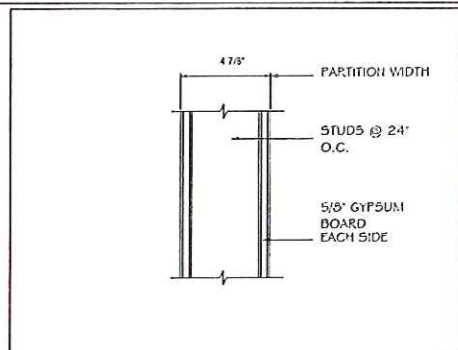
The contract documents are not intended to be a substitute for any laws, rules, regulations, or ordinances. Therefore, additional related information may be included in subsequent drawings and specifications. It is the responsibility of each party to refer to a complete set of contract drawings and specifications and not to a partial or incomplete set of documents.

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Relish  
Plantation Cove  
Gluckstadt, MS

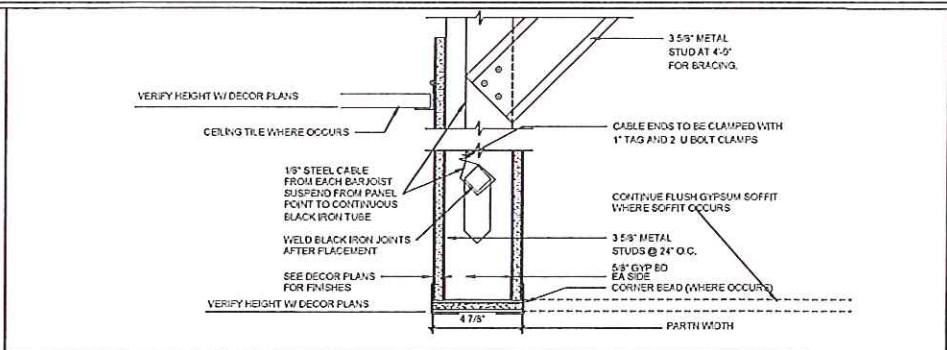
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SHEET  
A10

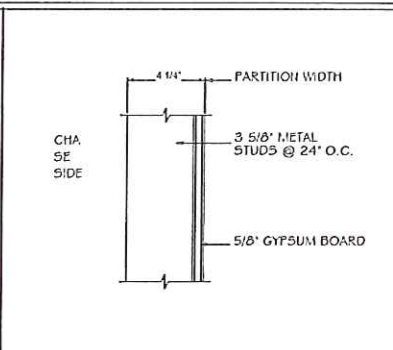
WALL DETAILS  
Scale: 3" = 1'-0"



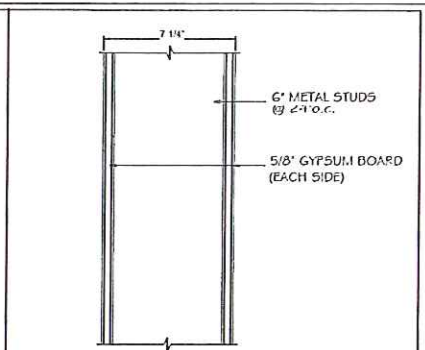
1 TYPICAL INTERIOR WALL GYPSUM BOARD CONSTRUCTION  
SCALE: 3" = 1'-0"



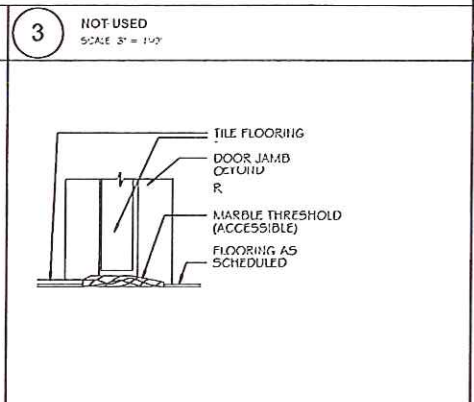
2 TYPICAL CURTAIN WALL DETAIL  
SCALE: 3" = 1'-0"



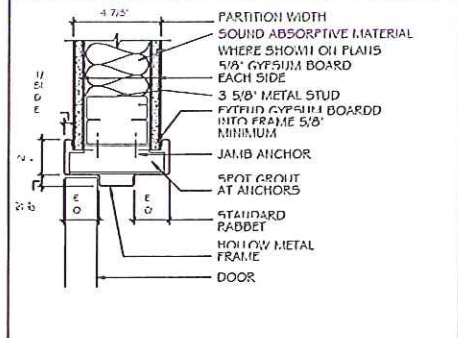
4 TYPICAL CHASE GYPSUM BOARD CONSTRUCTION  
SCALE: 3" = 1'-0"



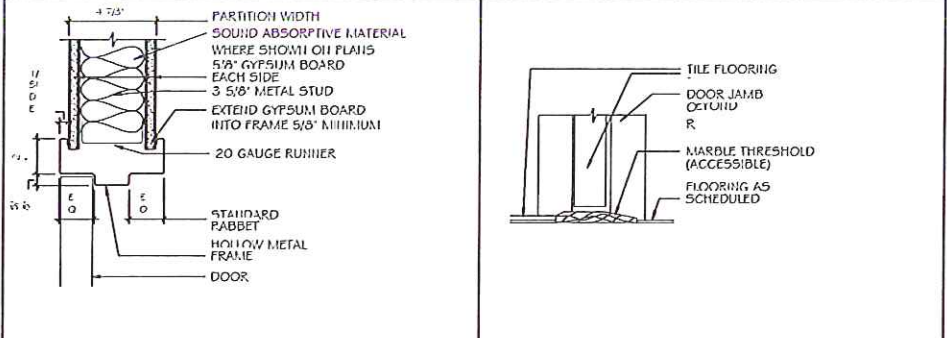
5 TYPICAL 6 INCH METAL STUD WALL GYPSUM BOARD CONSTRUCTION  
SCALE: 3" = 1'-0"



3 NOT USED  
SCALE: 3" = 1'-0"



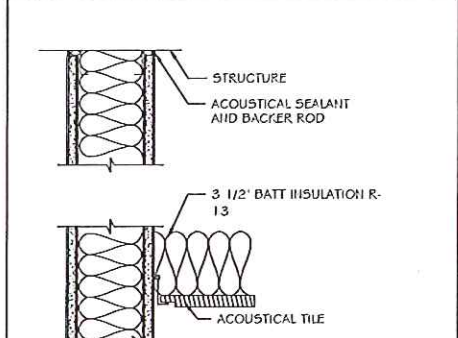
6 DOOR JAMB 4-7/8 HOLLOW METAL FRAME  
SCALE: 3" = 1'-0"



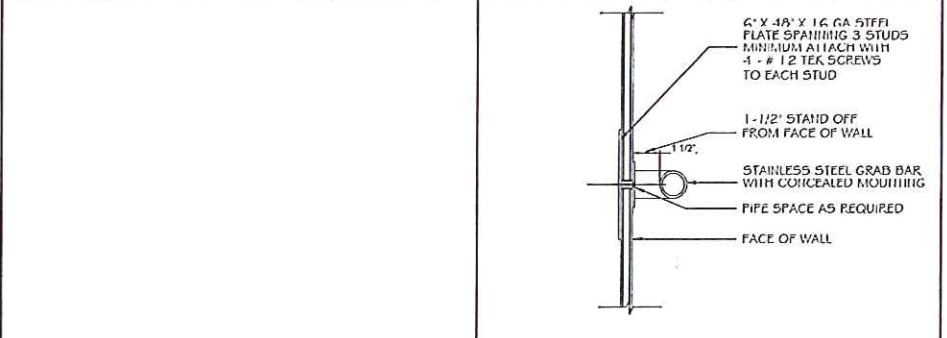
7 DOOR HEAD 4-7/8 HOLLOW METAL FRAME  
SCALE: 3" = 1'-0"



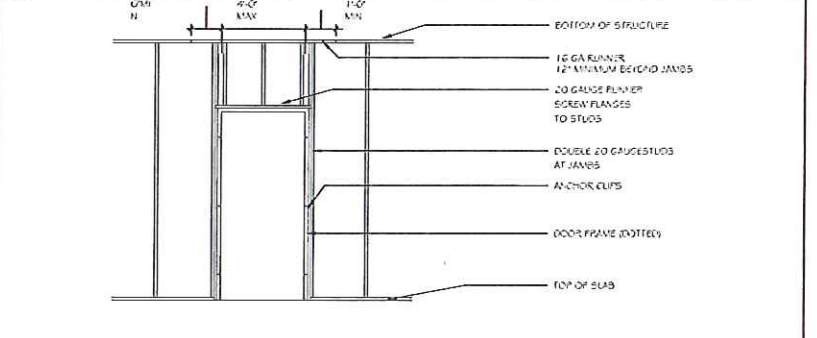
9 ONE HOUR RATED WALL GYPSUM BOARD CONSTRUCTION  
SCALE: 3" = 1'-0"



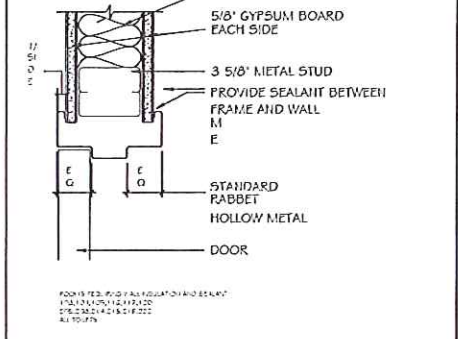
13 HOLLOW METAL DOOR HEAD - 4-7/8 WALL ASSEMBLY WP 1015 - STC 55 TO 59  
SCALE: 3" = 1'-0"



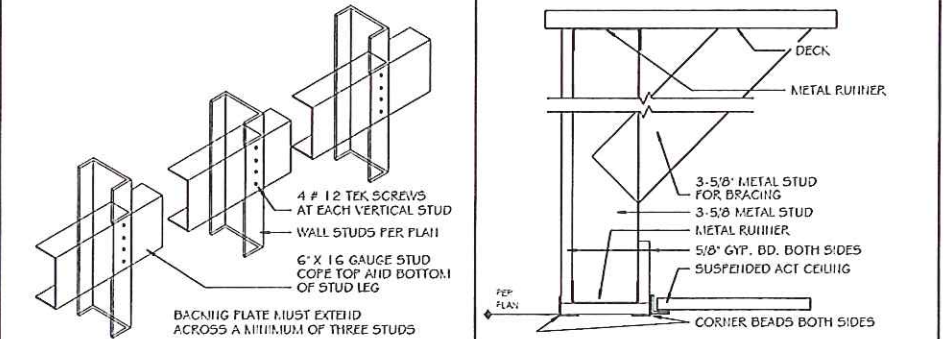
8 MARBLE THRESHOLD  
SCALE: 3" = 1'-0"



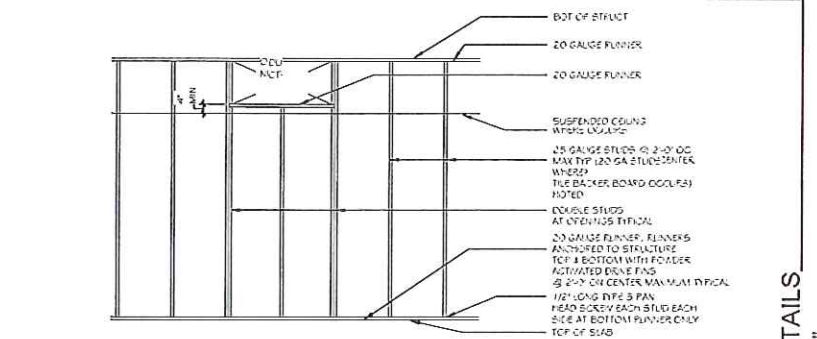
12 METAL STUD FRAMING ELEVATION TYPICAL DOOR OPENING - 4'-0 WIDE MAXIMUM  
SCALE: NO SCALE



14 TYPICAL WALL BLOCKING DETAIL  
SCALE: 3" = 1'-0"



11 GRAB BAR SUPPORT GYPSUM WALL  
SCALE: 3" = 1'-0"



16 METAL STUD FRAMING ELEVATION TYPICAL PARTITION  
SCALE: NO SCALE



15 WALL TYPE NINETEEN - CURTAIN WALL GYPSUM BOARD CONSTRUCTION  
SCALE: 3" = 1'-0"





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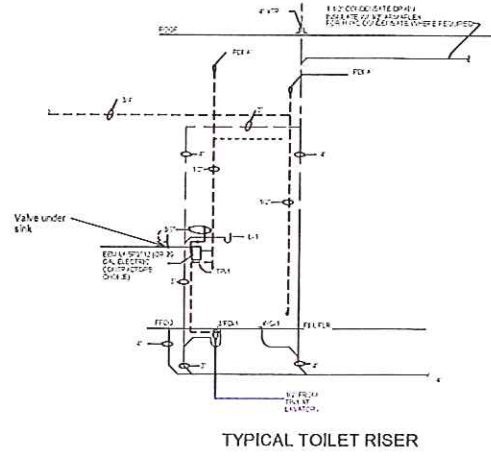
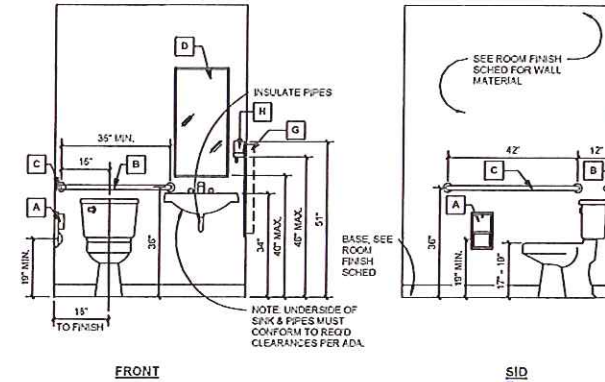
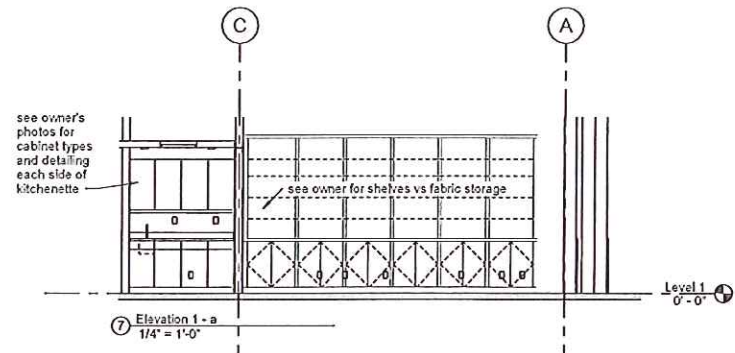
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**CONSTRUCTION PRINTS**  
FOR REGULATORY APPROVAL AND PERMITTING, OR CONSTRUCTION

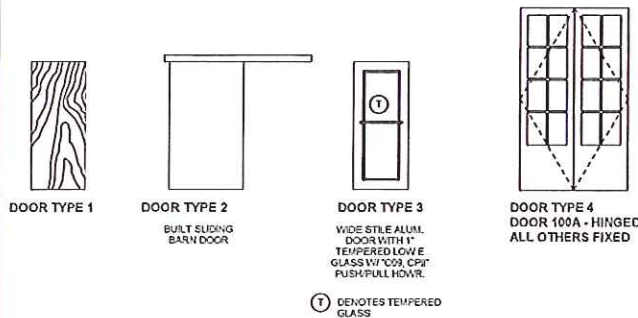
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RELISH  
Relish  
Plantation Cove  
Cluckstadt, MS

PLUMBING  
Scale: As indicated  
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A11



Mark	Height	Width	Thickness	Type	Comments	Hardware Set	From Room Name	To Room Name	Comments
100A	10'-0"	6'-0"	0'-1 3/4"	4	ENTRY		TENANT A		EXTERIOR
100B	6'-11 3/4"	6'-2 1/2"	3	ENTRY			TENANT A	TENANT A	EXTERIOR - STOREFRONT
100C	10'-0"	6'-0"	0'-1 3/4"	4	DUMMY		TENANT A		EXTERIOR FIXED
100D	10'-0"	6'-0"	0'-1 3/4"	4	DUMMY		TENANT A		EXTERIOR FIXED
100E	10'-0"	6'-0"	0'-1 3/4"	4	DUMMY		TENANT A		EXTERIOR FIXED
100F	10'-0"	6'-0"	0'-1 3/4"	4	DUMMY		TENANT A		EXTERIOR FIXED
100G	10'-0"	6'-0"	0'-1 3/4"	4	DUMMY		TENANT A		EXTERIOR FIXED
100H	10'-0"	6'-0"	0'-1 3/4"	4	DUMMY		TENANT A		EXTERIOR FIXED
100I	7'-0"	3'-0"	0'-1 3/4"	1	EXIT		TENANT A		EXTERIOR
104A	12'-0"	12'-0"	0'-2"		MANUFACTURER		Storage		INSULATED ROLLUP DOOR EQUAL TO OVERHEAD DR.
104B	10'-0"	8'-0"			Storage		TENANT A		CASED OPENING
105	8'-0"	4'-0"		2	BARN DOOR		Display	Storage	SLIDER - BARN DOOR HARDWARE
107	8'-0"	3'-0"	0'-1 3/4"		PRIVACY		Hall	Toilet	
108	7'-0"	3'-0"	0'-1 3/4"	1	PRIVACY		Storage	Toilet	
109	10'-0"	12'-0"					Consult	TENANT A	CASED OPENING
110	8'-0"	3'-0"					Consult	Break	CASED OPENING
111A	8'-0"	4'-0"					Hall	TENANT A	CASED OPENING
111B	8'-0"	4'-0"	0'-1 3/4"				Storage	Hall	CASED OPENING



NOTE

PROVIDE APPROVED BLOCKING IN THE PARTITION WALLS AS SHOWN TO MOUNT THE ACCESSORIES SHOWN. INSTALL ACOUSTIC BATT INSUL. BSHND ALL RECESSED OR SEMI-RECESSED ACCESSORIES.

EACH STALL TO RECEIVE A COAT HOOK AND TOILET PAPER DISPENSER. A, E

ACCESSIBLE TOILETS RECEIVE TWO GRAB BARS ONE EACH OF B, C IN ADDITION

PROVIDE ONE SOAP DISPENSER H PER TWO LAVATORIES TYPICAL

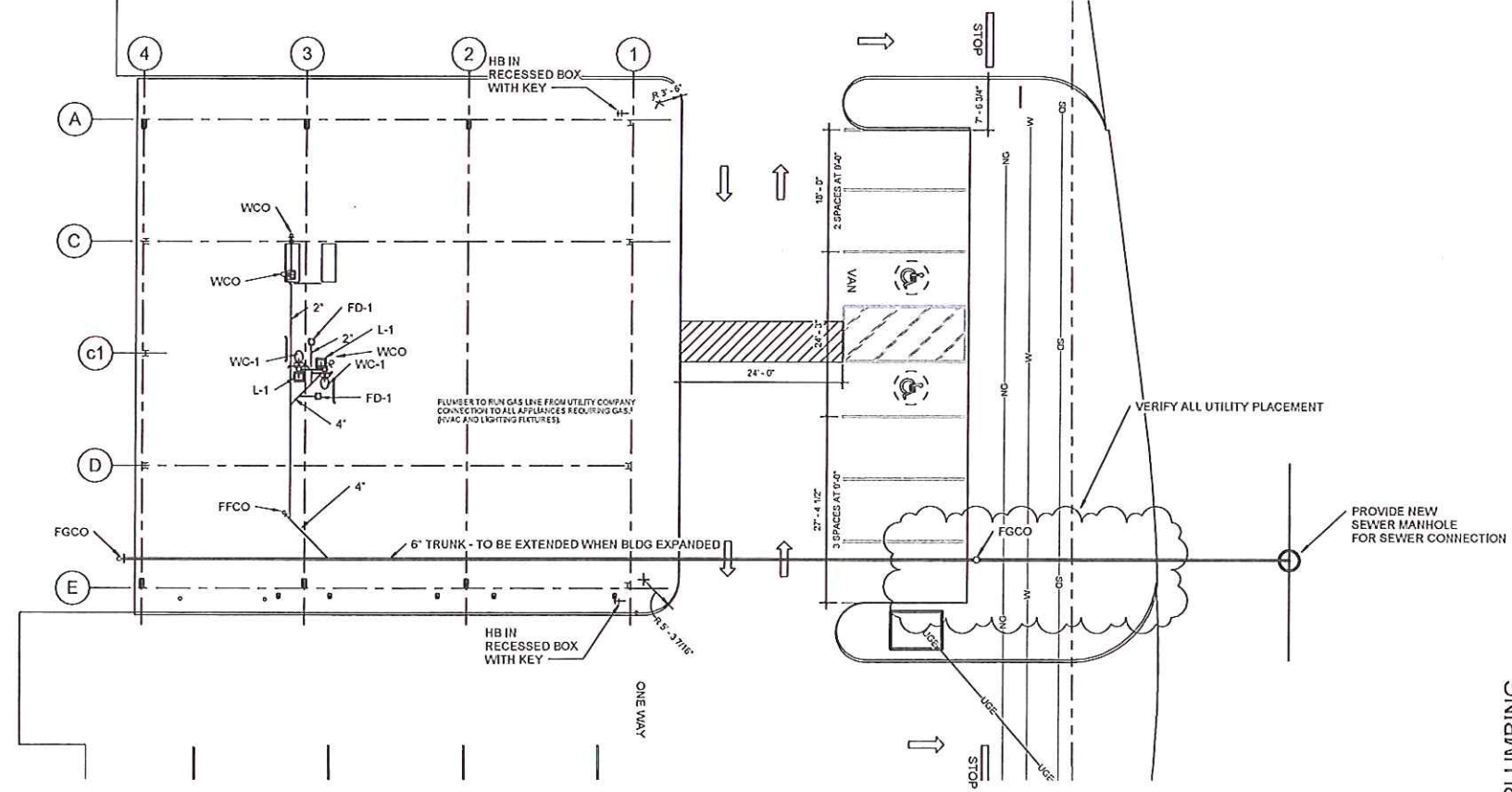
PROVIDE ONE J - VERIFY ITS LOCATION IN WOMEN'S TOILET

PROVIDE M AS SHOWN IN ELEVATION THIS SHEET.

TP = TOILET PAPER DISPENSER  
PTD = PAPER TOWEL DISPENSER  
SND = SANITARY NAPKIN DISPENSER  
CT = CERAMIC TILE  
VT = VINYL TILE  
GB = GRABBAR  
SC = SEALED CONCRETE  
SR = SHOWER ROD  
FSS = FOLDING SHOWER SEAT

MARK	ITEM	BOBRICK MODEL NUMBER
A	TOILET PAPER DISPENSER RECESSED, DOUBLE ROLL	B-4358
B	GRAB BAR - 1 1/2" DIA., S/S, FREED-ED GRIP, SNAP FLANGE	B-6006 29 35" L.
C	GRAB BAR - 1 1/2" DIA., S/S, FREED-ED GRIP, SNAP FLANGE	B-6006 29 42" L.
D	MIRROR - 6'S ANGLE FRAME	Size per elevation
E	COAT HOOK	B-682
G	PAPER TOWEL DISP/RECP. RECESSED	B-369
H	SOAP DISPENSER	B-155
J	HAND SANITATION DISP. (COMBINES TOILET ONLY) RECESSED	B-3500
K	MOP HOLDER @ JANITOR'S CLOSET	B-223 X 24
L	5000 sheet commercial toilet paper	
M		

3 Typical Toilet Accessories  
1/2" = 1'-0"



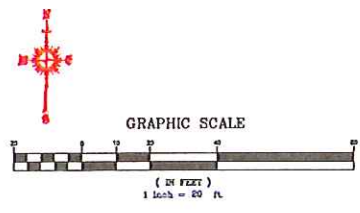
6 PLUMBING PLAN  
1" = 10'-0"

PLUMBING  
Scale: As indicated

LEGEND	
	ELECTRICAL BOX
	TELEPHONE PEDESTAL
	TELEPHONE PEDESTAL
	POWER BOX
	SANITARY SEWER MANHOLE
	STORM MANHOLE
	CLEANOUT
	WATER VALVE
	WATER METER
	SPRINKLER
	FIRE HYDRANT
	GATE VALVE
	LAMP
	UTILITY POLE
	GUY WIRE
	SET STAKE
	WOOD STAKE
	TREE STAKE MARK (TYPE 1 & 2)
	POWER LINE
	GAS LINE
	WATER LINE
	SANITARY SEWER LINE
	STORM DRAIN
	FENCE LINE
	FENCED AREA
	PARKING STRIP
	DRIVE
	EDGE OF PAVEMENT
	EDGE OF GRAVEL
	RAMP
	LOT LINE
	BASEMENT
	PROPERTY LINE
	RAMP
	FOUND ROCK (SEE PLAN FOR SIZE)
	FOUND TREE NAIL
	RIGHT OF WAY

# BOUNDARY & TOPOGRAPHIC SURVEY CERTAIN PROPERTIES

SITUATED IN THE NW 1/4 OF SECTION 28,  
AND IN THE NE 1/4 OF SECTION 29, ALL IN T8N-R2E  
MADISON COUNTY, MISSISSIPPI



REFERENCE MATERIALS USED:  
FEMA FLOOD HAZARD SERVICE CENTER  
RECORDED PLAT OF GUCKSTADT COMMERCIAL CENTER (REVISED)  
PLAT OF "GUCKSTADT COMMERCIAL PARK" BY DIVIDED SURVEY CONSULTANTS, INC.  
BOOK 2293 PAGE 294  
BOOK 402 PAGE 601  
BOOK 1032 PAGE 604  
BOOK 2373 PAGE 300  
BOOK 2373 PAGE 300

THE PROPERTY SHOWN HEREON IS LOCATED IN ZONE "A" (1% ANNUAL CHANCE FLOOD HAZARD) IN ZONE "A" (1% ANNUAL CHANCE FLOOD HAZARD) ACCORDING TO FLOOD HAZARD MAP NO. 17-2013-14-00000-A, DATED MARCH 11, 2013, THE ANNUAL CHANCE FLOOD MAP FOR THE REPORT STREET & RIVER AS CLASS "A" SURVEY ACCORDING TO STANDARDS OF PRACTICE FOR SURVEYING IN THE STATE OF MISSISSIPPI ESTABLISHED BY THE AUTHORITY OF SECTION 15-15-1(5), MISSISSIPPI CODE OF 1972 AS AMENDED.  
REFERENCE MERIDIAN - RECORDED PLAT OF GUCKSTADT COMMERCIAL CENTER (REVISED)  
ELEVATION DATUM - NAVD83  
O INDICATES PROPERTY CORNERS  
C INDICATES POINT OF PROPERTY LINES  
ONLY VISIBLE UTILITIES ARE SHOWN ON THIS PLAN.

EXISTING BUILDING AND PARKING

EXISTING BUILDING AND PARKING

EXISTING BUILDING AND PARKING

1 EXISTING SITE PLAN  
3/64" = 1'-0"



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FOR REGULATORY APPROVAL PERMITTING, OR CONSTRUCTION

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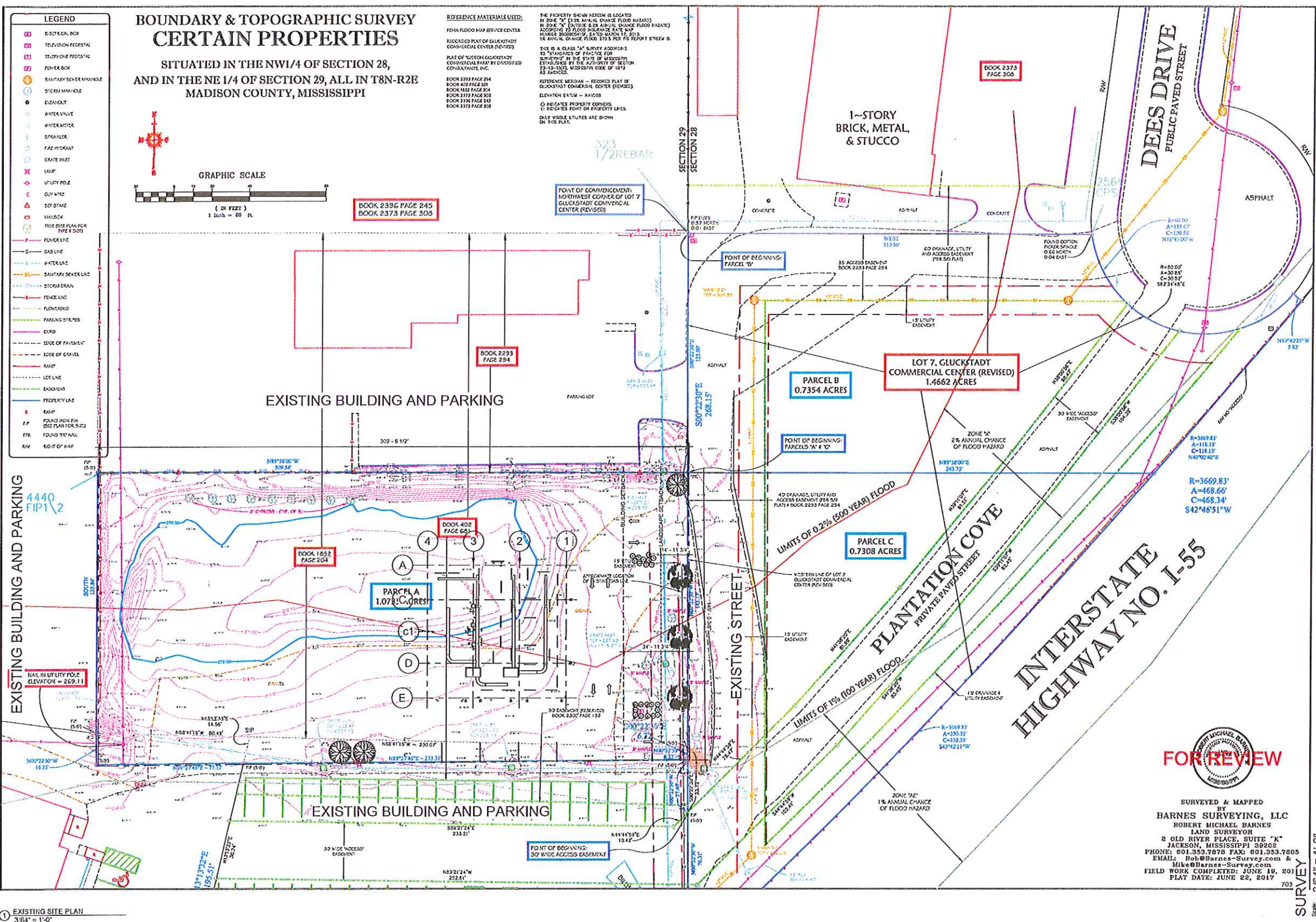
FOR REVIEW

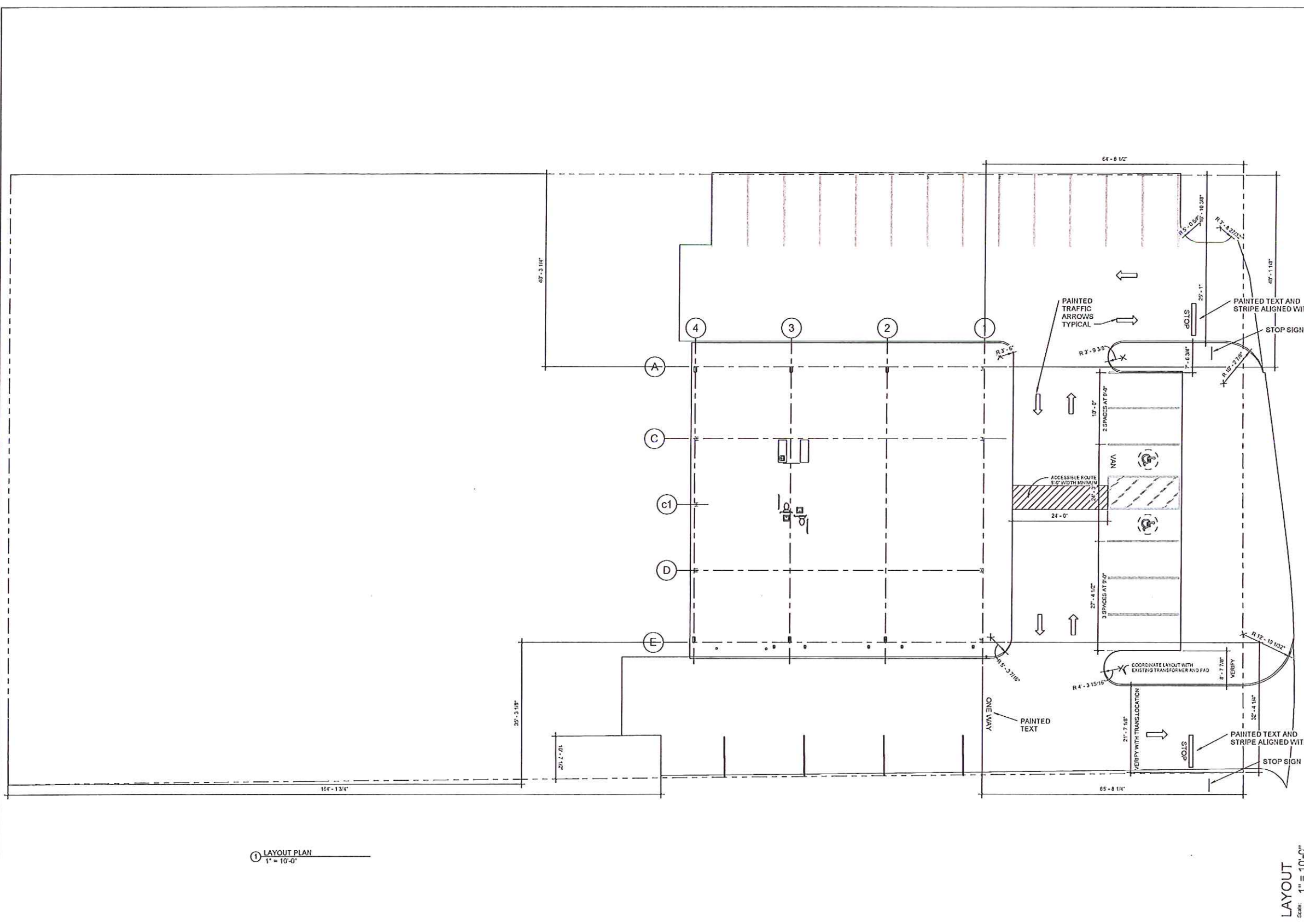
SURVEYED & MAPPED  
BARNES SURVEYING, LLC  
ROBERT MICHAEL BARNES  
LAND SURVEYOR  
8 OLD RIVER PLACE, SUITE "K"  
JACKSON, MISSISSIPPI 39202  
PHONE: 601-353-7878 FAX: 601-353-7805  
EMAIL: Bob@Barnes-Survey.com & Mike@Barnes-Survey.com  
FIELD WORK COMPLETED: JUNE 19, 2017  
PLAT DATE: JUNE 22, 2017

RELISH  
Relish  
Plantation Cove  
Gluckstadt, MS

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703  
SHEET  
C1





① LAYOUT PLAN  
1" = 10'-0"



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robertpolkarchitect@gmail.com



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Plantation Cove  
Gluckstadt, MS

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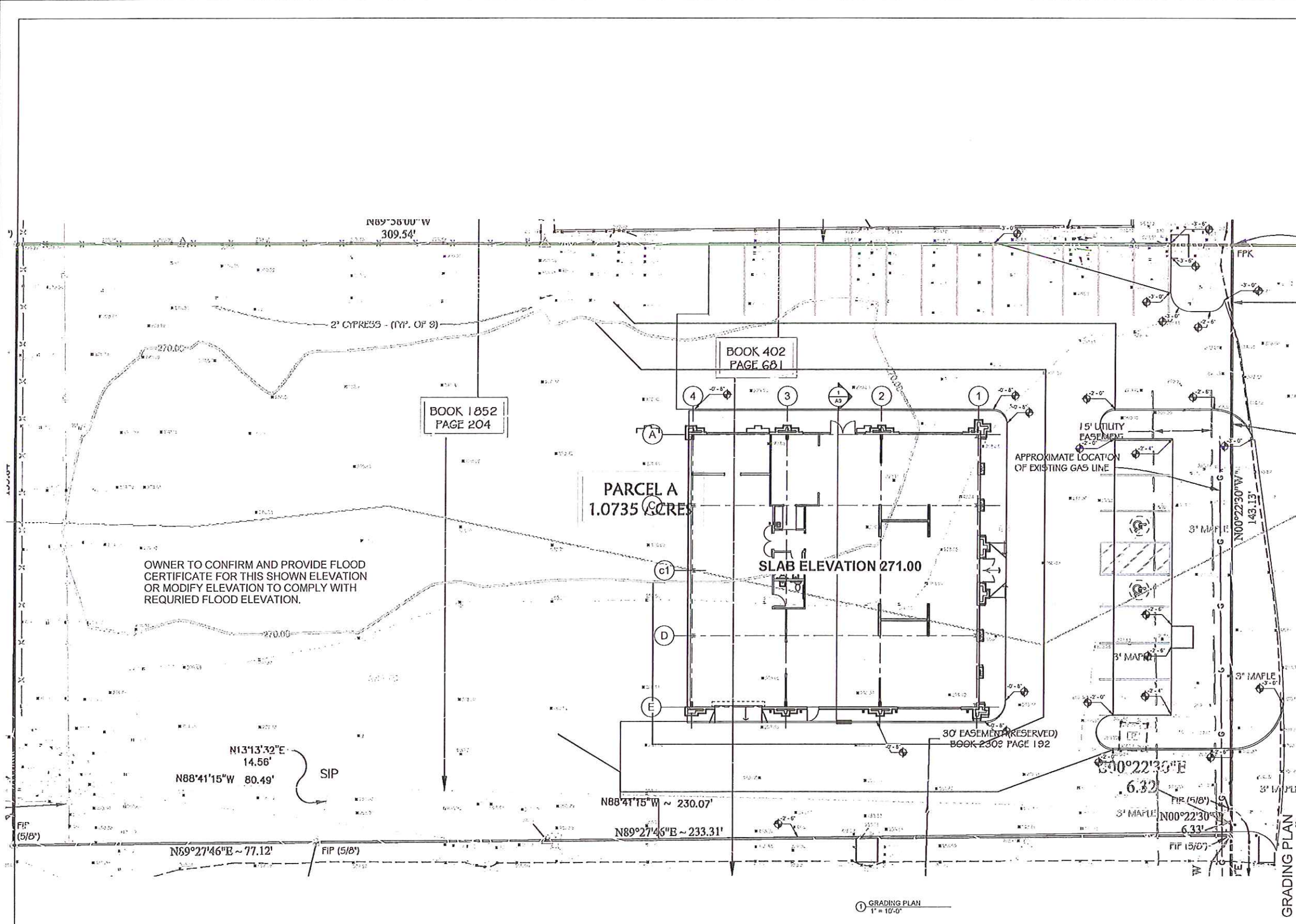
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PERMITTING, OR CONSTRUCTION

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RELISH  
Relish  
Plantation Cove  
Gluckstadt, MS

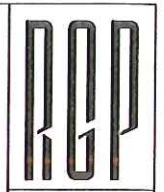
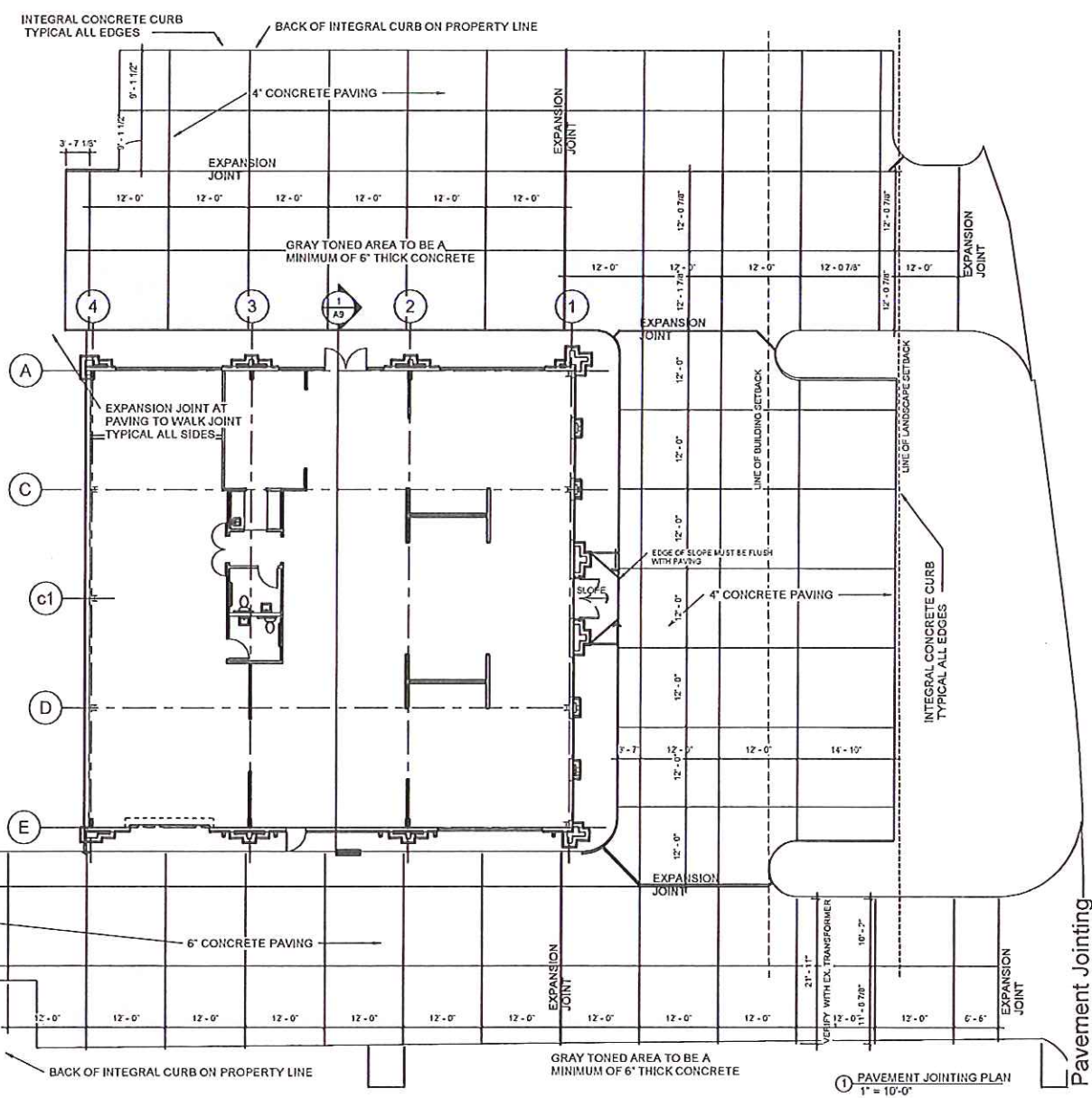
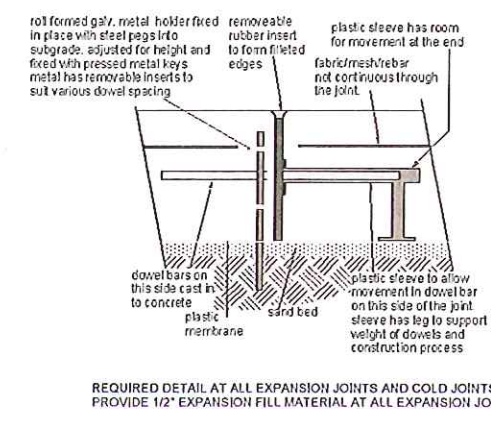
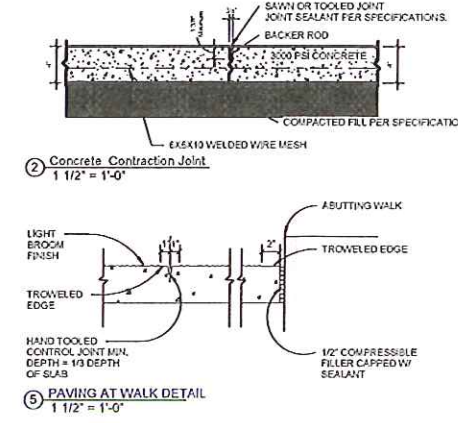
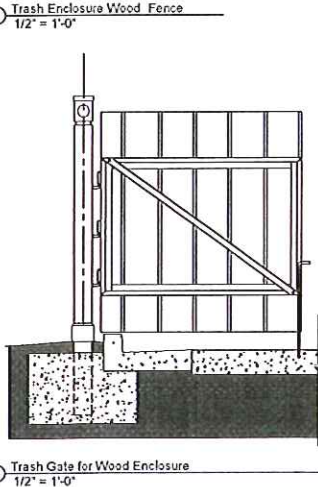
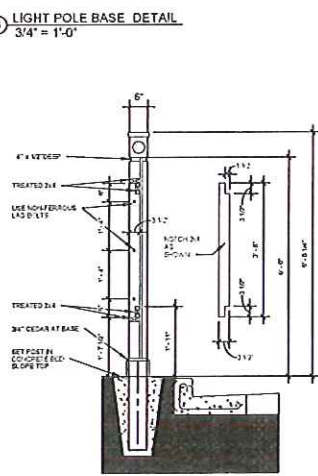
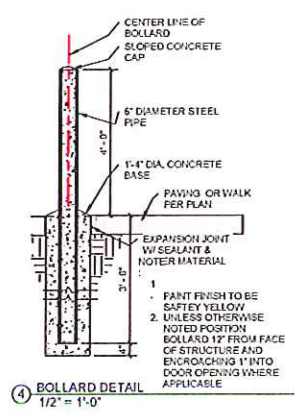
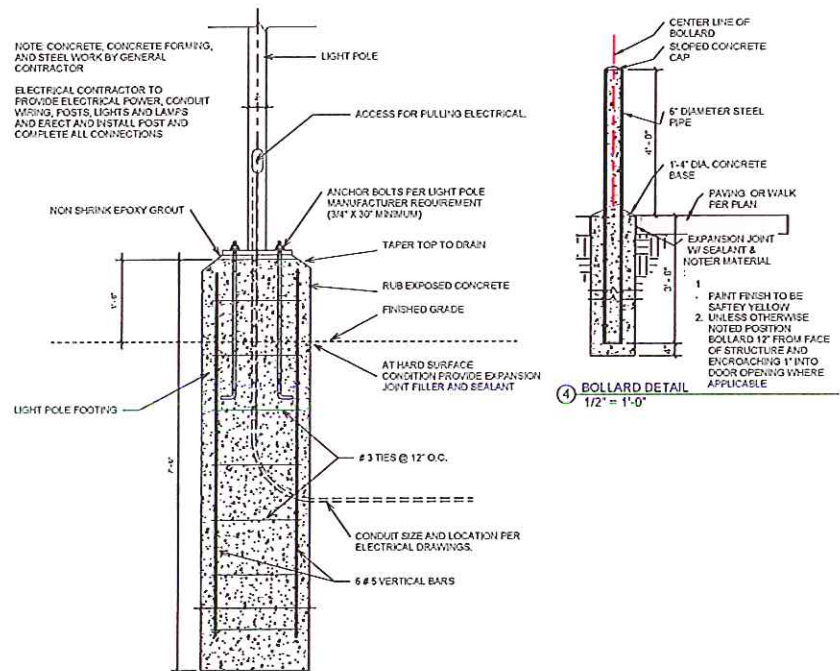
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OWNER TO CONFIRM AND PROVIDE FLOOD CERTIFICATE FOR THIS SHOWN ELEVATION OR MODIFY ELEVATION TO COMPLY WITH REQUIRED FLOOD ELEVATION.

① GRADING PLAN  
Scale: 1" = 10'-0"



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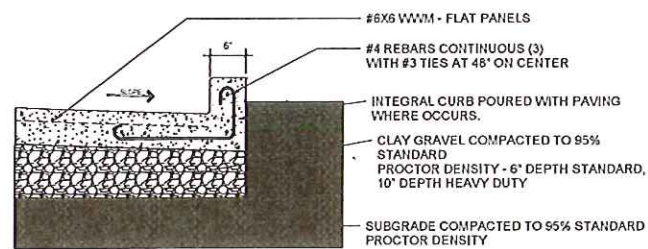
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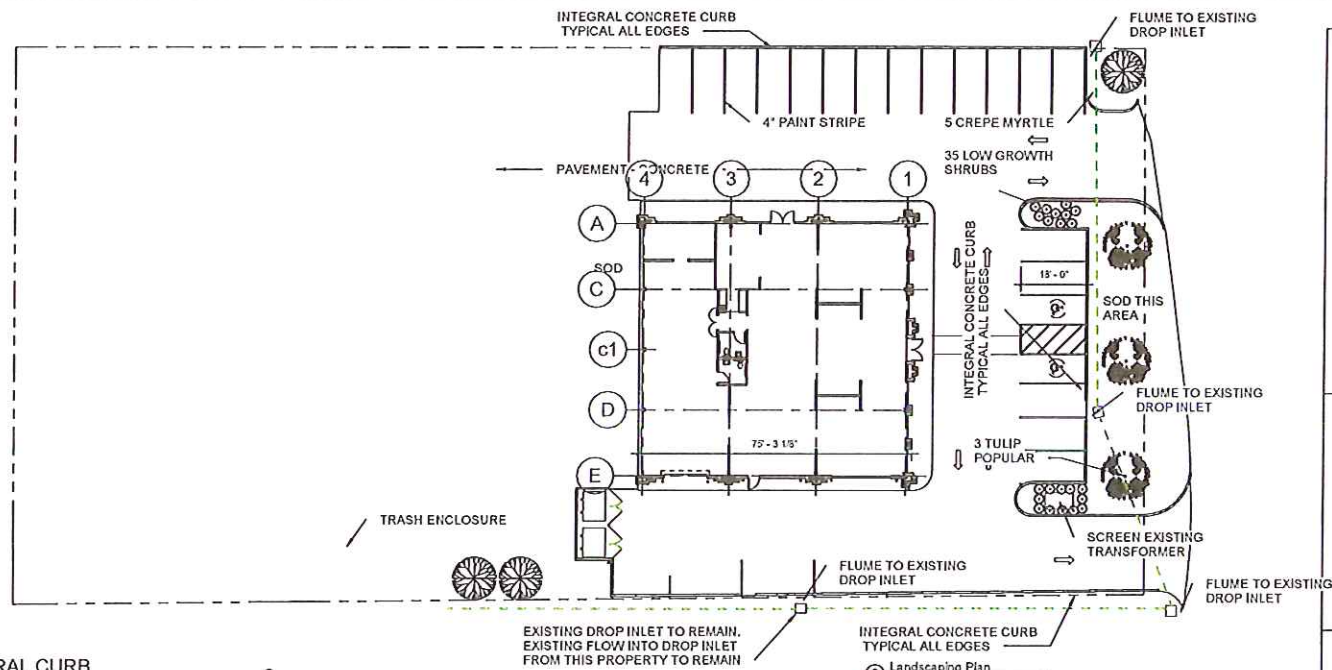
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Cluckstad, MS

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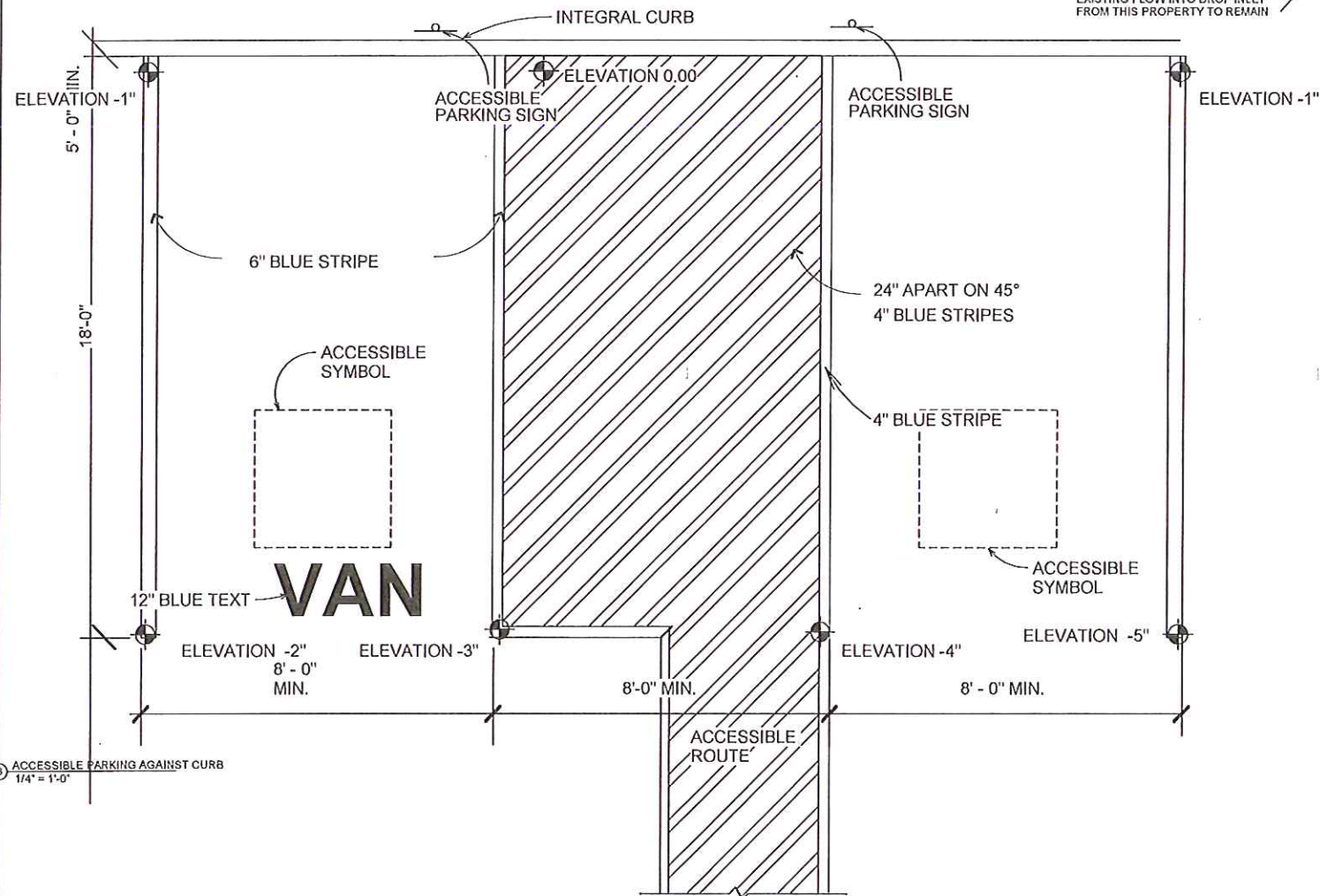
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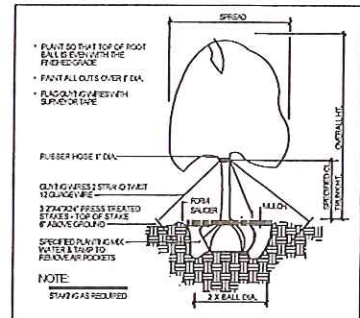
5 Curb and Gutter  
1" = 1'-0"



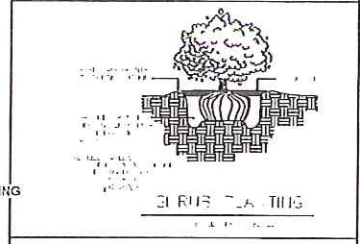
2 Landscaping Plan  
1" = 20'-0"



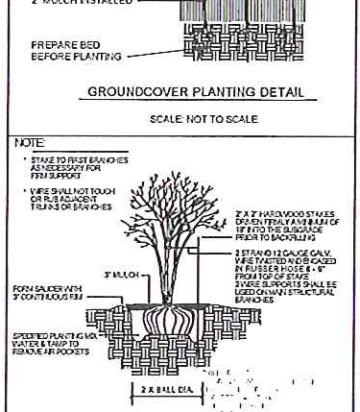
8 ACCESSIBLE PARKING AGAINST CURB  
1/4" = 1'-0"



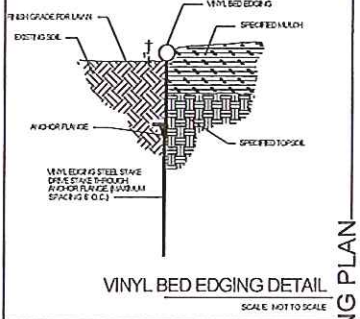
TREE PLANTING - GUY WIRES  
SCALE: NOT TO SCALE



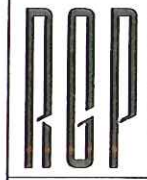
GROUND COVER PLANTING DETAIL  
SCALE: NOT TO SCALE



MULTI-TRUNK TREE STAKING  
SCALE: NOT TO SCALE



VINYL BED EDGING DETAIL  
SCALE: NOT TO SCALE



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LANDSCAPING PLAN  
DATE: As indicated

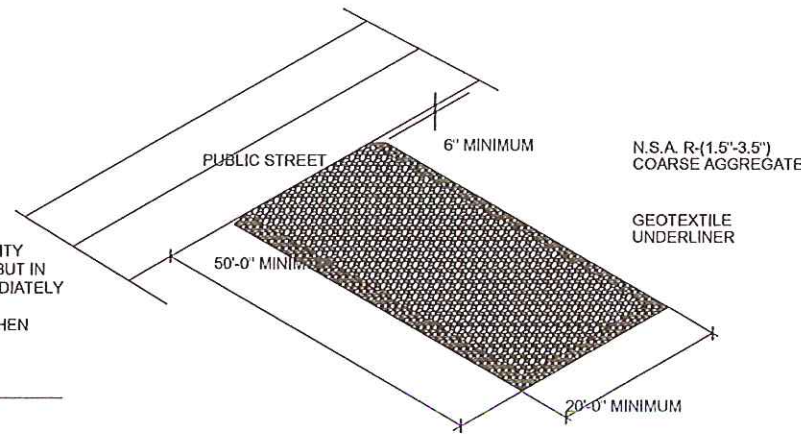
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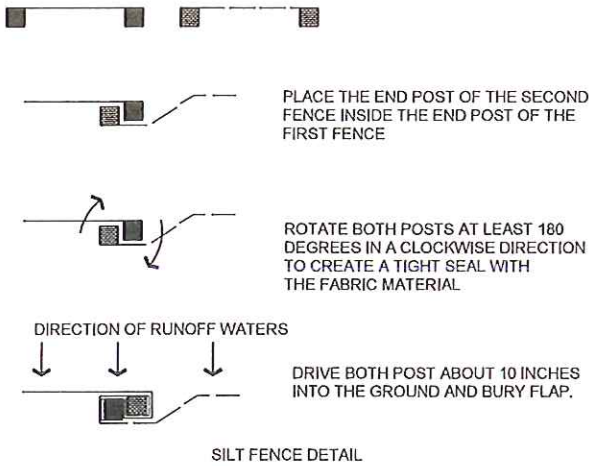
**SILT FENCE MAINTENANCE PLAN**

- CARE SHALL BE TAKEN TO MINIMIZE THE MOVEMENT OF SEDIMENT INTO ALL STORM DRAIN APPURTENANCES AND PUBLIC STREETS UNTIL THE IMPERVIOUS MATERIAL (ROAD/PARKING AREA SURFACE) IS APPLIED OR UNTIL PROPOSED LANDSCAPE HAS BEEN ESTABLISHED.
- A DROP INLET SEDIMENT TRAP WITH PERIMETER SILT FENCING OR PROPERLY INSTALLED HAYBALE BARRIERS IS THE RECOMMENDED METHOD OF INLET PROTECTION. SEDIMENT WILL BE REMOVED FROM THE EXCAVATED DROP INLET SEDIMENT TRAP AND RESTORED TO THE ORIGINAL DEPTH WHEN SEDIMENT ACCUMULATION HAS REACHED HALF THE DEPTH OF THE TRAP.
- ALL EROSION AND SEDIMENT CONTROL MEASURES WILL BE CHECKED FOR STABILITY AND OPERATIONAL INTEGRITY FOLLOWING EVERY RUNOFF PRODUCING RAINFALL BUT IN NO CASE, LESS THAN EVERY WEEK. ANY NECESSARY REPAIRS WILL BE MADE IMMEDIATELY TO MAINTAIN THE MEASURE'S PERFORMANCE AS DESIGNATED.
- SEDIMENT WILL BE REMOVED FROM THE UPSTREAM FACE OF THE SILT FENCE WHEN IT REACHES A MAXIMUM SIX-INCH (6") DEPTH AT THE FENCE. THE FENCE WILL BE REPLACED AS NECESSARY TO MAINTAIN A BARRIER.

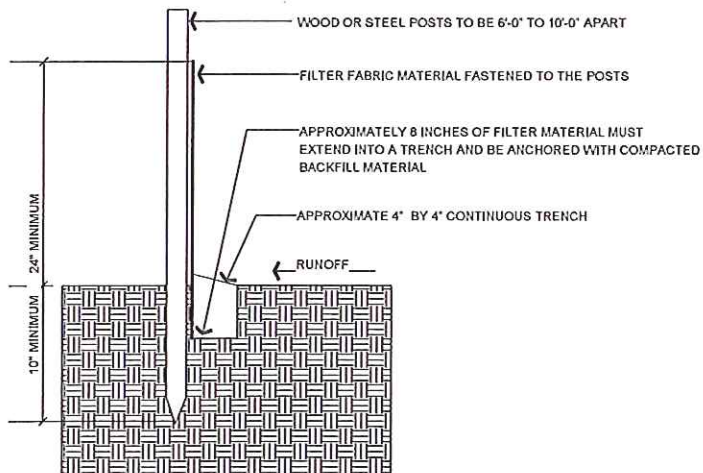


1 Silt Fence Maintenance Notes  
1/4" = 1'-0"

**ATTACHING TWO SILT FENCES**



2 Silt Fence plan  
1/4" = 1'-0"



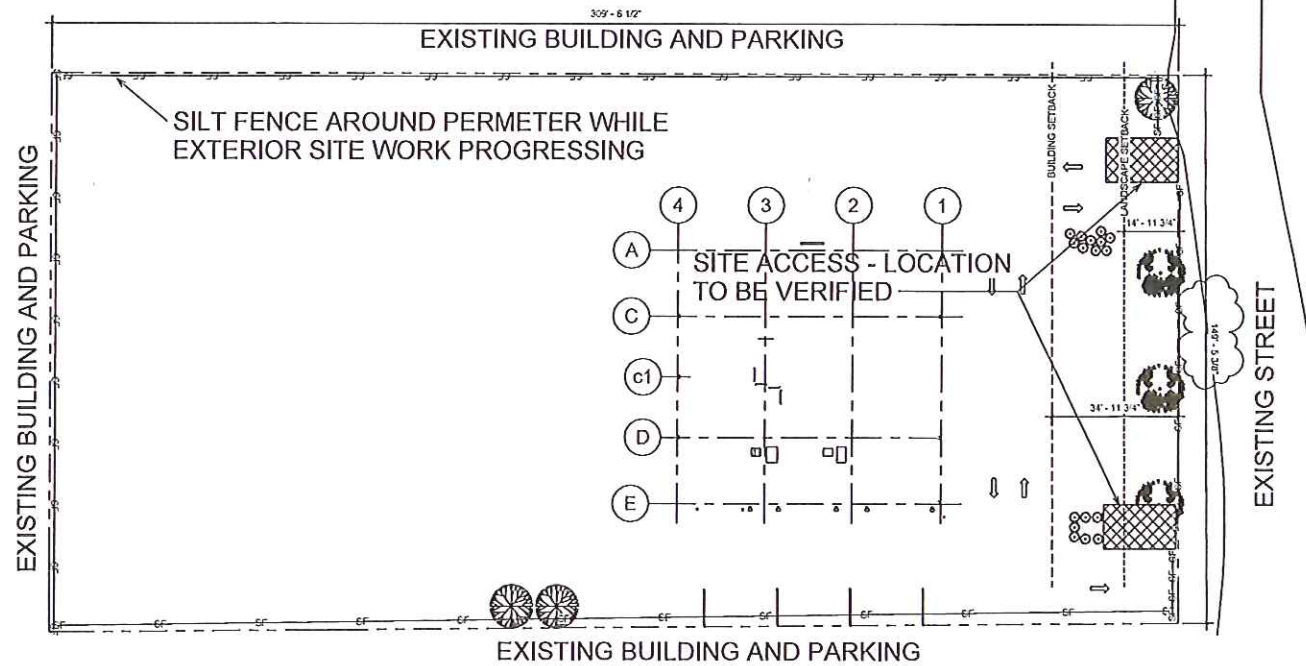
3 Silt Fence Section  
1/4" = 1'-0"

- THE EXIT SHALL BE MAINTAINED IN A CONDITION WHICH WILL PREVENT TRACKING OR FLOW OF MUD ONTO PUBLIC RIGHT-OF-WAY. THIS MAY REQUIRE PERIODIC TOP DRESSING WITH 1.5-3.5 INCH STONE, AS CONDITIONS DEMAND, AND REPAIR AND/OR CLEAN OUT OF ANY STRUCTURE USED TO TRAP SEDIMENT. ALL MATERIALS SPILLED, DROPPED, WASHED, OR TRACKED FROM VEHICLES OR SITE ONTO ROADWAYS OR INTO STORM DRAINS MUST BE REMOVED IMMEDIATELY.
- WHEELS MUST BE CLEANED TO REMOVED MUD PRIOR TO ENTRANCE ONTO PUBLIC RIGHT-OF-WAY. WHEN WASHING IS REQUIRED, IT SHALL BE DONE ON AN AREA WITH CRUSHED STONE WHICH DRAINS INTO AN APPROVED SEDIMENT TRAP OR SEDIMENT BASIN.

4 Site Access  
1/4" = 1'-0"

**SITE PLAN NOTES:**

- CONSTRUCTION DETAILS SHALL BE MUNICIPAL STANDARD DETAILS.
- CONTRACTOR SHALL COMPLY WITH ALL APPLICABLE LOCAL AND STATE CODES.
- TEMPORARY SEDIMENT BARRIERS REQUIRED SHALL BE PLACED AS NECESSARY TO CONTAIN SEDIMENT WITHIN CONSTRUCTION LIMITS.
- DIMENSIONS UNLESS OTHERWISE SHOWN ARE TO FACE OF CURB.
- ACCESSIBLE PARKING AND ASSOCIATED ACCESSIBLE ROUTE SHALL MEET 2010 ADA REQUIREMENTS AT A MINIMUM, AND COMPLY WITH LOCAL AND MUNICIPAL REGULATIONS, WHICHEVER IS THE MOST STRINGENT.
- SPOT ELEVATIONS SHOWN ARE FINISHED GRADE OF TOP OF CURB, PAVING OR SIDEWALK.
- PARKING STRIPES SHALL BE 4' WIDE UNLESS NOTED OTHERWISE WHITE WATERBORNE PAINT FOR NON ACCESSIBLE PARKING OR BLUE WATERBORNE PAINT AT ACCESSIBLE PARKING AND ACCESSIBLE ROUTES MEETING SPECIFICATION TT-P-1952B.
- OWNER TO PROVIDE CONTROL POINT COORDINATES AND A BENCHMARK ELEVATION FOR THE SITE. ALL OTHER LAYOUT SHALL BE THE CONTRACTOR'S RESPONSIBILITY.
- CONTRACTOR SHALL PROVIDE WATER AND SANITARY AS SHOWN AND COORDINATE WITH LOCAL UTILITY COMPANIES TO PROVIDE GAS AND POWER CONNECTION TO THE BUILDING.
- WATER SERVICE IS REQUIRED COMPLETE (LESS METER) TO SHOWN TENANT SPACE.
- CURB CONSTRUCTION JOINTS SHALL BE 10'-0" ON CENTER. EXPANSION JOINTS SHALL BE 60'-0" ON CENTER.
- INLET CASTINGS SHALL BE VULCAN (V-4302-1) OR DEWS & SONS (DF-22F) W/ MUNICIPAL SEAL WHERE REQUIRED BY ORDINANCE.
- COMPACTION FOR OPEN TRENCHES IN THE PROJECT SHALL BE TO 95% STANDARD PROCTOR, MINIMUM, WITH COMPACTION TESTS FURNISHED TO OWNER FOR ALL FILLED TRENCHES WHICH HAVE OCCURRED UNDER PAVEMENT OR BUILDING.



5 EROSION CONTROL PLAN  
1" = 20'-0"



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CONSTRUCTION PRINTS  
FOR REGULATORY APPROVAL, PERMITTING, OR CONSTRUCTION

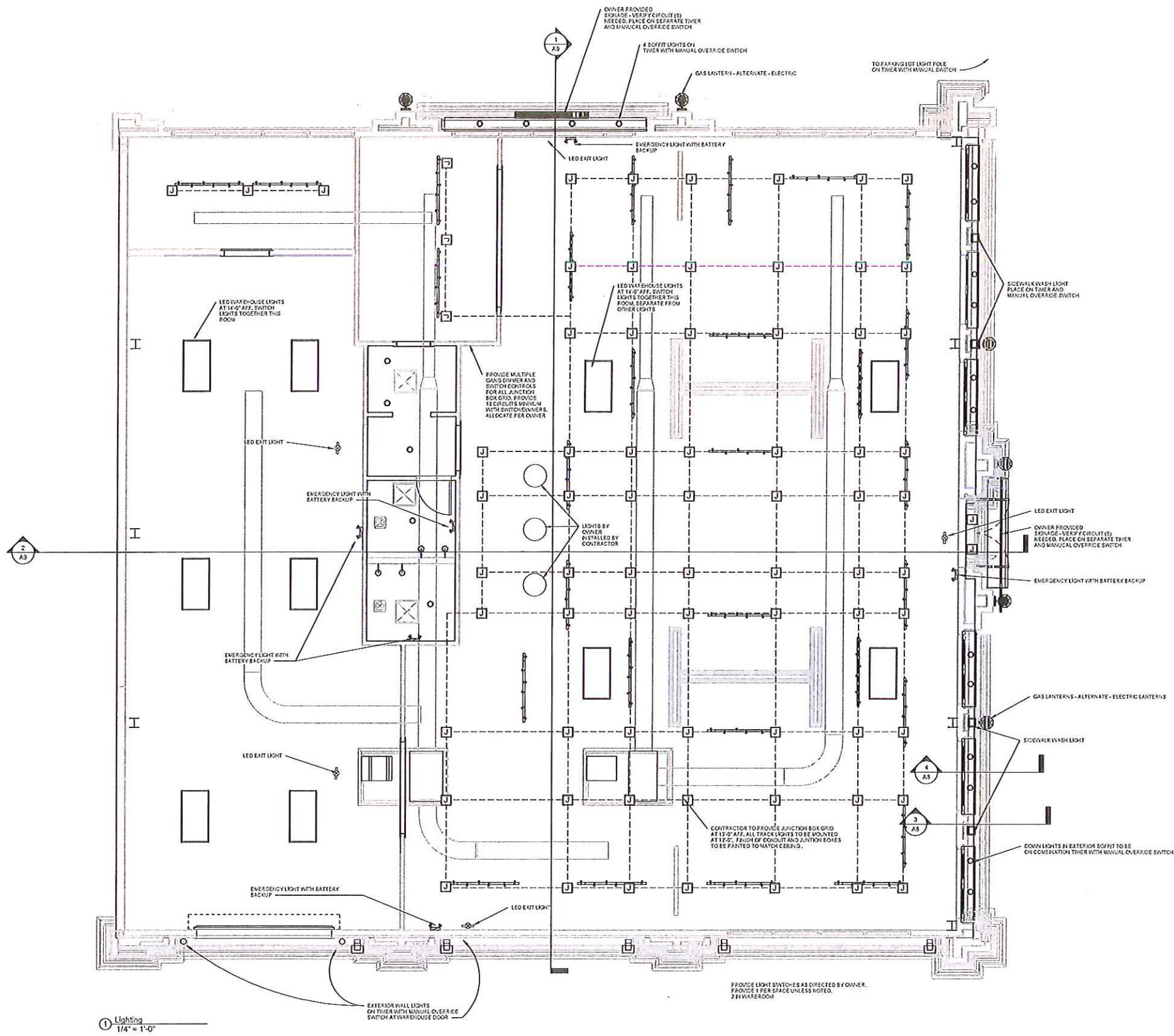
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EROSION CONTROL PLAN  
Scale: As indicated

RELISH  
Relish  
Plantation Cove  
Gluckstadt, MS

PLOTTED:  
10/2/2017  
11:09:01  
AM

SHEET  
C6



1 Lighting  
Scale: 1/4" = 1'-0"

PROVIDE LIGHT SWITCHES AS DIRECTED BY OWNER. PROVIDE 1 PER SPACE UNLESS NOTED. 2 IN WAREHOUSE.



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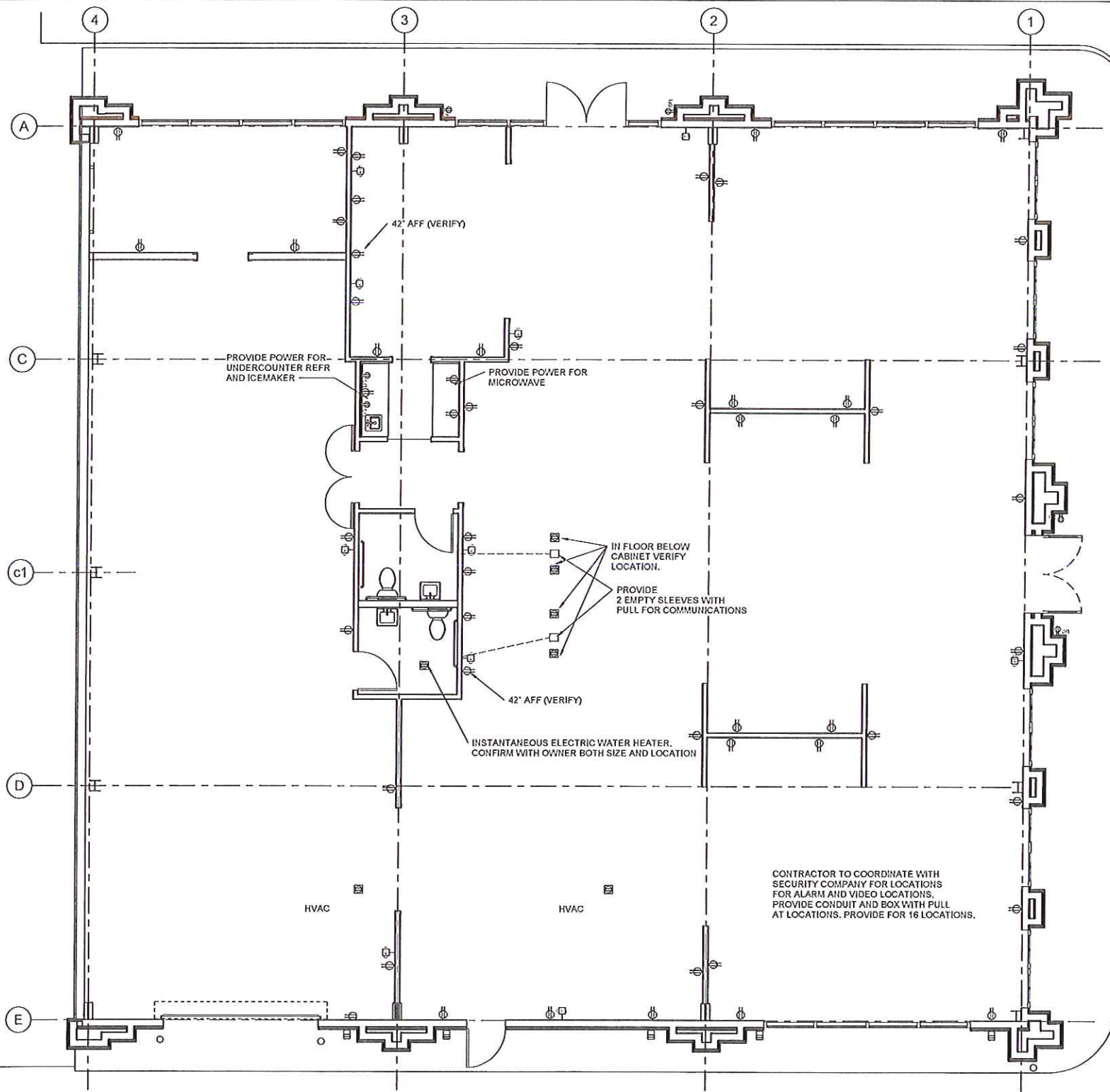
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RELISH  
Relish  
Plantation Cove  
Gluckstadt, MS

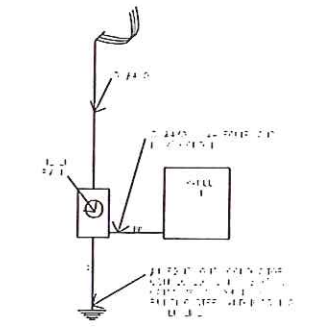
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SHEET  
E1





NO.	DESCRIPTION	AMT.	UNIT	TYPE	DATE	BY	CHKD.	DATE	BY	CHKD.
1	CONDUIT	100	FT.							
2	CONDUIT	200	FT.							
3	CONDUIT	150	FT.							
4	CONDUIT	100	FT.							
5	CONDUIT	50	FT.							
6	CONDUIT	50	FT.							
7	CONDUIT	50	FT.							
8	CONDUIT	50	FT.							
9	CONDUIT	50	FT.							
10	CONDUIT	50	FT.							
11	CONDUIT	50	FT.							
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47	CONDUIT	50	FT.							
48	CONDUIT	50	FT.							
49	CONDUIT	50	FT.							
50	CONDUIT	50	FT.							



CONTRACTOR TO CONFIRM ALL CIRCUITS AND LOADS WITH OWNER AND PERFORM EXTERIOR DESIGN LOAD CALCULATIONS AND VERIFY IF SINGLE OR THREE PHASE IS AVAILABLE ON SITE.  
 IF THREE PHASE IS ON SITE, PROVIDE THREE PHASE SERVICE AND THREE PHASE RISER FOR ALL. CHANGE RISER FOR E.A.C.V. PER CODE FOR THREE PHASE.

ELECTRICAL RISER DIAGRAM



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RELISH  
 Relish  
 Plantation Cove  
 Cluckstadt, MS

POWER  
 SCALE: 1/4" = 1'-0"  
 PLOTTED  
 10/2/2017  
 11:09:04  
 AM  
 SHEET  
 E2

POWER  
 1/4" = 1'-0"

Report Prepared By: Robert G. Polk, Architect

For: Relish  
Gluckstadt, MS

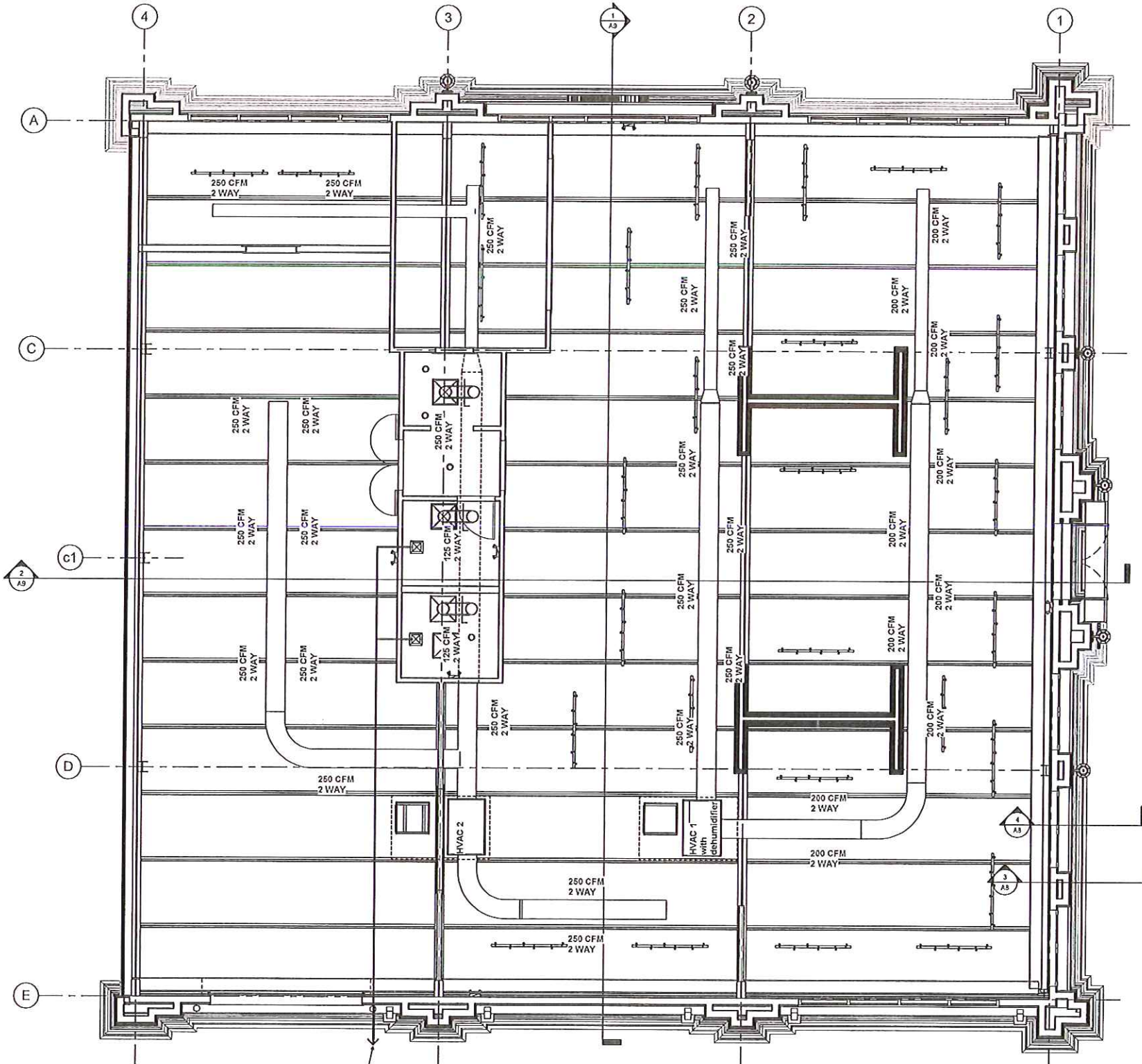
Design Conditions: Ridgeland, MS; Latitude: 32; Time 4:00 PM

Indoor:		Outdoor:	
Summer temperature:	75	Summer temperature:	85
Winter temperature:	72	Winter temperature:	25
Relative humidity:	60	Summer grains of moisture:	106
		Daily temperature range:	21

Building Component	Sensible Gain (BTUH)	Latent Gain (BTUH)	Total Heat Gain (BTUH)	Total Heat Loss (BTUH)
Ventilation	50,490	43,697	94,187	118,652
People	33,250	30,600	63,850	0
Ceilings	26,044	0	26,044	23,638
Windows	25,765	0	25,765	20,339
Lights	13,600	0	13,600	0
Door Leakage	7,128	6,169	13,297	28,797
Miscellaneous	10,500	0	10,500	0
Doors	4,104	0	4,104	3,234
Walls	3,341	0	3,341	11,219
Infiltration	0	0	0	0
Duct	0	0	0	0
Skylights	0	0	0	0
Partitions	0	0	0	0
Floors	0	0	0	10,650
<b>Whole Building - All Components</b>	<b>179,222</b>	<b>80,466</b>	<b>259,688</b>	<b>216,589</b>
			<b>(21.5 tons)</b>	

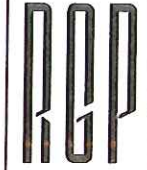
HVAC-Calc Commercial 4.0 by HVAC Computer Systems Ltd 688 738-1101  
Load calculations are estimates only. Actual loads may vary due to weather and construction differences.

PROVIDE HVAC 1 - 12 TON WITH DEHUMIDIFIER  
 PROVIDE HVAC 2 - 10 TON  
 GAS HEAT ON BOTH UNITS  
 PROVIDE ROOF CURBS WITH UNITS



EXHAUST TOILET THROUGH WALL

1 Mechanical  
 1/4" = 1'-0"



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Mechanical  
 Scale: 1/4" = 1'-0"

RELISH  
 Relish  
 Plantation Cove  
 Gluckstadt, MS

10/2/2017  
 11:09:08  
 AM

1  
 M1

### FOOTING SCHEDULE

FOOTING MARK	SIZE	THICKNESS	REINFORCING
F3.0	4'-0" SQ	12"	4 #5 EACH WAY
F4.0	4'-0" SQ	12"	4 #5 EACH WAY
F5.0	5'-0" SQ	12"	5 #5 EACH WAY

TOP OF INTERIOR FOOTINGS 8" BELOW FINISHED FLOOR UNLESS NOTED OTHERWISE  
 TOP OF EXTERIOR FOOTINGS 3'-0" BELOW FINISHED FLOOR UNLESS NOTED OTHERWISE

#### STRUCTURAL STEEL NOTES

- DESIGN, FABRICATION AND ERECTION OF STRUCTURAL STEEL SHALL BE IN ACCORDANCE WITH THE MANUAL OF STEEL CONSTRUCTION, 9th EDITION, BY THE AMERICAN INSTITUTE OF STEEL CONSTRUCTION, AND THE STRUCTURAL WELDING CODE (AWS D1.1), 1992 EDITION, BY THE AMERICAN WELDING SOCIETY.
- STRUCTURAL TUBING SHALL CONFORM TO ASTM A500, GRADE B (F<sub>y</sub>=45 KSI). ALL OTHER STRUCTURAL STEEL SHALL CONFORM TO ASTM A36, (F<sub>y</sub>=36 KSI), EXCEPT AS OTHERWISE NOTED ON THE DRAWINGS.
- ANCHOR BOLTS SHALL CONFORM TO ASTM A307 UNLESS NOTED OTHERWISE. ALL OTHER BOLTS SHALL CONFORM TO ASTM A325, HIGH STRENGTH LOW ALLOY BOLTS MAY BE USED AT THE CONTRACTOR'S OPTION.
- THE MINIMUM NUMBER OF BOLTS IN STRUCTURAL STEEL CONNECTIONS SHALL BE AS FOLLOWS:
  - ALL CONNECTIONS UNLESS NOTED OTHERWISE SHALL BE MADE WITH 3/4" DIAMETER A325 BOLTS, DESIGNED AS TYPE "N" BEARING CONNECTIONS.
  - THE MINIMUM NUMBER OF BOLTS IN ANY CONNECTION OF SECONDARY MEMBERS SHALL BE TWO 3/4" DIAMETER A325 BOLTS UNLESS NOTED OTHERWISE.
- ALL STRUCTURAL SHOP AND FIELD WELDING SHALL BE MADE WITH ELECTRODES DESIGNATED BY E70XX LOW HYDROGEN AND SHALL BE PERFORMED BY CERTIFIED WELDERS.
- PROVIDE 3/4" XES STIFFENERS IN CANTILEVER BEAMS OVER ALL COLUMNS. ONE EACH SIDE STAGGERED AND IN LINE WITH COLUMN FLANGE.

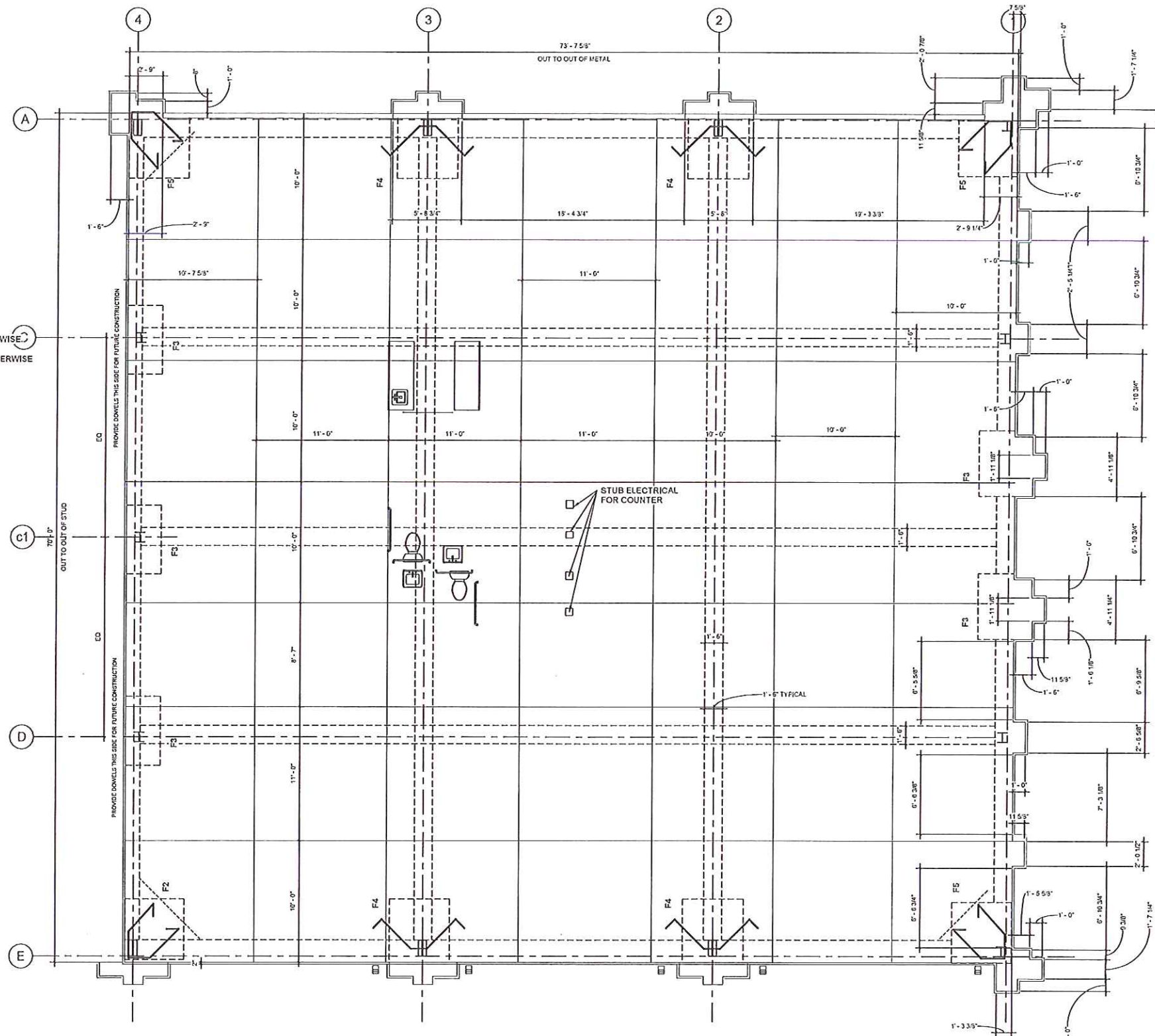
#### SOIL AND FOUNDATION NOTES

- REMOVE UNACCEPTABLE TOP SOIL AND REPLACE WITH ACCEPTABLE FILL.
- THE EXPOSED SURFACE AFTER EXCAVATION SHALL BE COMPACTED TO A MINIMUM OF 85% OF THEIR MOISTURE PROCTOR MAXIMUM DRY DENSITY, IN ACCORDANCE WITH ASTM D1557, METHOD A, TO A DEPTH OF 8".
- FILL MATERIAL SHALL CONSIST OF A SELECT CLAYEY SAND OR SANDY CLAY WITH A PLASTICITY INDEX (PI) NOT LESS THAN 4 AND GREATER THAN 16.
- FILL MATERIAL SHALL BE PLACED IN 8" LOOSE LIFTS AND COMPACTED TO A MINIMUM OF 85% OF MAXIMUM DRY DENSITY AS DESCRIBED ABOVE.
- ALL FILL AND COMPACTION PROCEDURES SHALL BE CONTROLLED BY A QUALIFIED TESTING LABORATORY AND FIELD DENSITY TESTS SHALL BE PERFORMED FOR EACH TWO THOUSAND SQUARE FEET OF AREA IN EACH COMPACTED LIFT TO ASSURE THAT COMPACTION HAS BEEN OBTAINED.
- ALL FOUNDATION WORK SHALL BE INSPECTED BY A COMPETENT SOILS ENGINEER OR HIS REPRESENTATIVE PRIOR TO PLACEMENT OF CONCRETE.
- FOOTINGS SHALL BE CENTERED ABOUT COLUMNS UNLESS NOTED OTHERWISE.

#### REINFORCED CONCRETE NOTES

- ALL CONCRETE CONSTRUCTION SHALL CONFORM TO ACI 308-11 SPECIFICATIONS FOR STRUCTURAL CONCRETE.
- SHOP DRAWINGS SHOWING ALL FABRICATION DIMENSIONS AND LOCATIONS FOR PLACING OF THE REINFORCING STEEL AND ACCESSORIES SHALL BE SUBMITTED FOR REVIEW TO THE ENGINEER. NO FABRICATION SHALL BEGIN UNTIL SHOP DRAWINGS ARE COMPLETED AND REVIEWED.
- UNLESS NOTED OTHERWISE, DETAILS OF CONCRETE REINFORCEMENT AND ACCESSORIES SHALL BE IN ACCORDANCE WITH THE LATEST EDITION OF ACI 318, SPECIFICATIONS FOR STRUCTURAL CONCRETE, LATEST EDITION.
- UNLESS NOTED OTHERWISE, 28 DAY COMPRESSIVE STRENGTH OF CAST-IN-PLACE CONCRETE FOR EACH PORTION OF STRUCTURE SHALL BE 3500 PSI UNLESS NOTED OTHERWISE.
- UNLESS NOTED OTHERWISE, MINIMUM CONCRETE COVER FOR REINFORCEMENT SHALL BE AS FOLLOWS:
 

CONCRETE CAST AGAINST EARTH	3"
FORMED CONCRETE EXPOSED TO WEATHER	2"
INTERIOR SLABS AND WALLS	1"
- REINFORCING STEEL SHALL CONFORM TO ASTM A615, GRADE 60, UNLESS NOTED OTHERWISE. ALL WELDED REINFORCING STEEL SHALL CONFORM TO ASTM A706.
- SPACES NOT SHOWN ON THE DRAWINGS SHALL BE SUBJECT TO REVIEW. BARS MARKED CONTINUOUS INCLUDING TEMPORARY BARS SHALL HAVE #3 OR CLASS "C" SPACES UNLESS OTHERWISE NOTED.
- UNLESS NOTED OTHERWISE, LONGITUDINAL REINFORCING IN FOOTINGS SHALL BE PLACED CONTINUOUS AT CORNERS AND INTERSECTIONS.
- CONSTRUCTION JOINTS SHALL FALL AT CONTROL JOINTS AND SHALL BE COVERED OR REVEALED.
- WELDING ON TRACK WELDING OF REINFORCING STEEL SHALL NOT BE PERMITTED EXCEPT AS AUTHORIZED OR DIRECTED BY THE ARCHITECT, STRUCTURAL ENGINEER OR HIS REPRESENTATIVE.



FOUNDATION PLAN  
 1/4" = 1'-0"



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 PERMITTING OR CONSTRUCTION

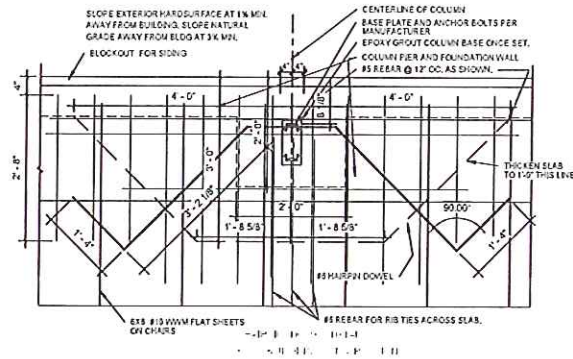
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FOUNDATION PLAN  
 Scale: As indicated

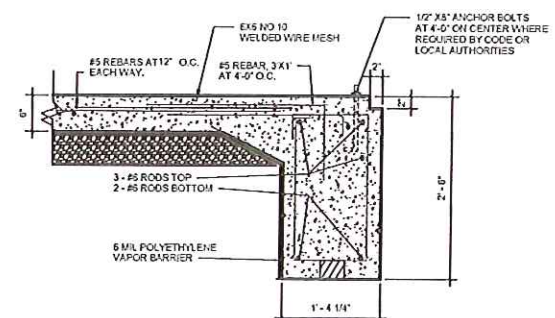
RELISH  
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 Plantation Cove  
 Gluckstadt, MS

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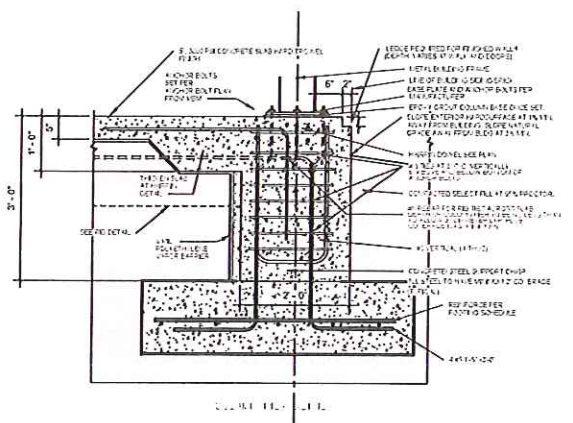
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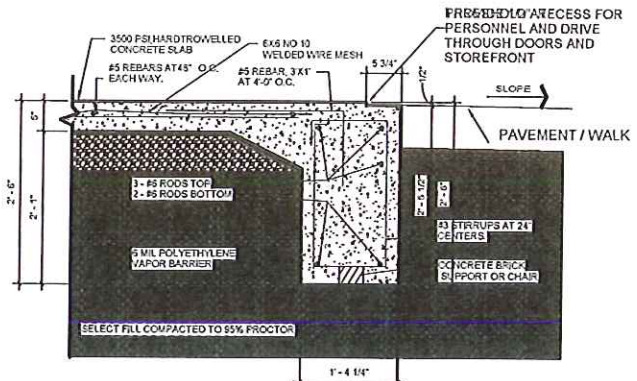
1 Foundation - Hair Pin Dowel Detail  
3/4" = 1'-0"



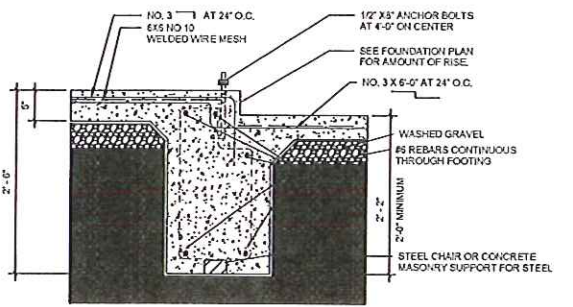
5 GRADE BEAM - TYPICAL EDGE DETAIL  
1" = 1'-0"



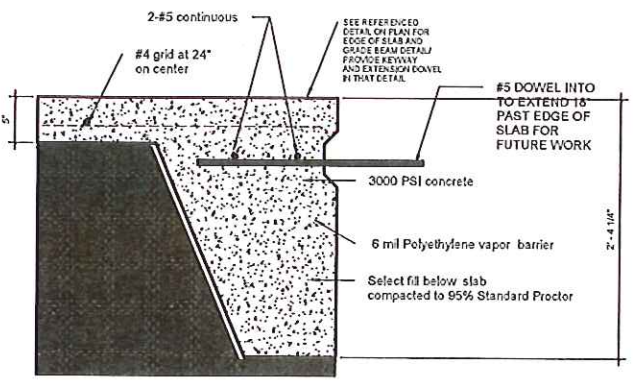
2 Foundation - Column Pier Metal Studs  
3/4" = 1'-0"



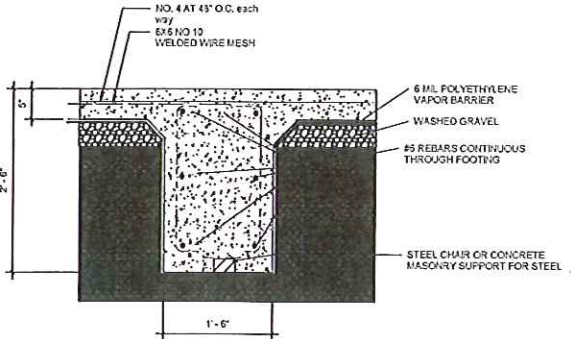
6 GRADE BEAM RECESS AT OPENINGS  
1" = 1'-0"



3 GRADE BEAM - AT SLAB STEP  
1" = 1'-0"



7 Foundation Detail At Future Expansion  
1 1/2" = 1'-0"



4 GRADE BEAM - CROSS BEAM  
1" = 1'-0"



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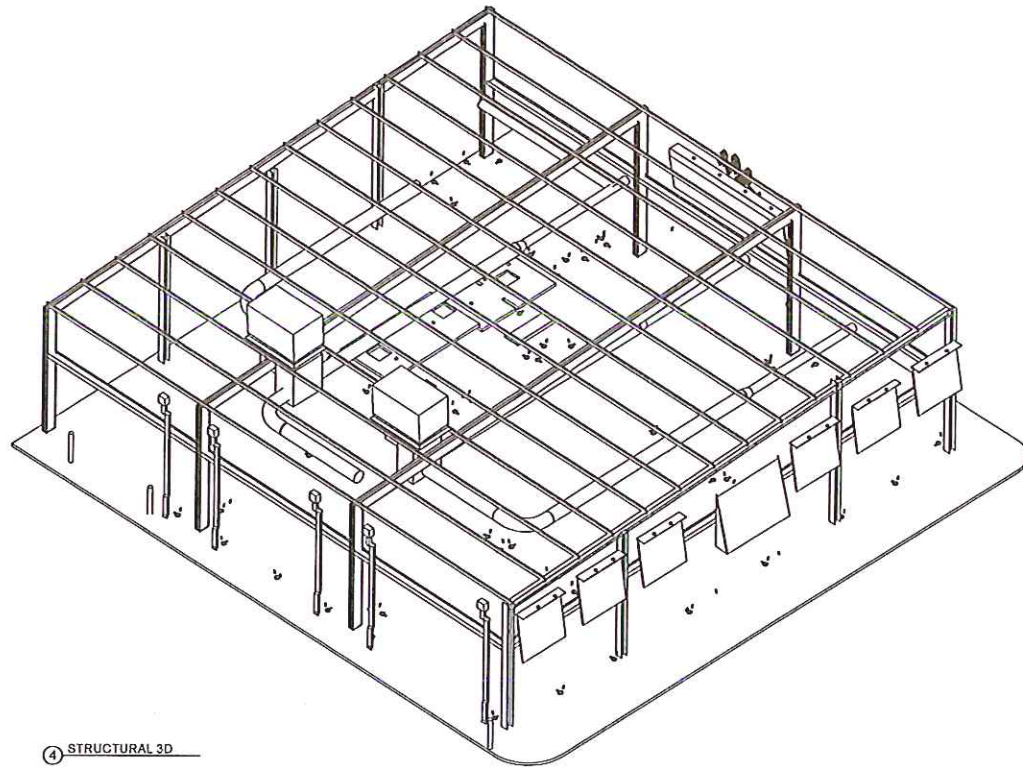
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FOUNDATION DETAILS  
Scale: As indicated

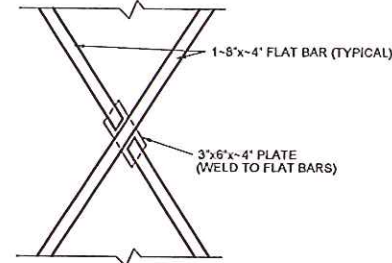
RELISH  
Relish  
Plantation Cove  
Gluckstadt, MS

PLOTTED  
10/2/2017  
11:09:13  
AM

SHEET  
S2

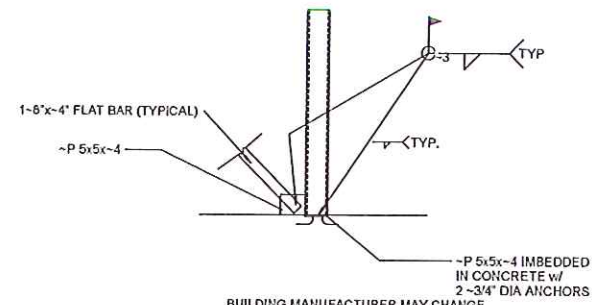


4 STRUCTURAL 3D



BUILDING MANUFACTURER MAY CHANGE WIND BRACING DETAIL TO COMPLY WITH THEIR DESIGN AND CALCULATIONS

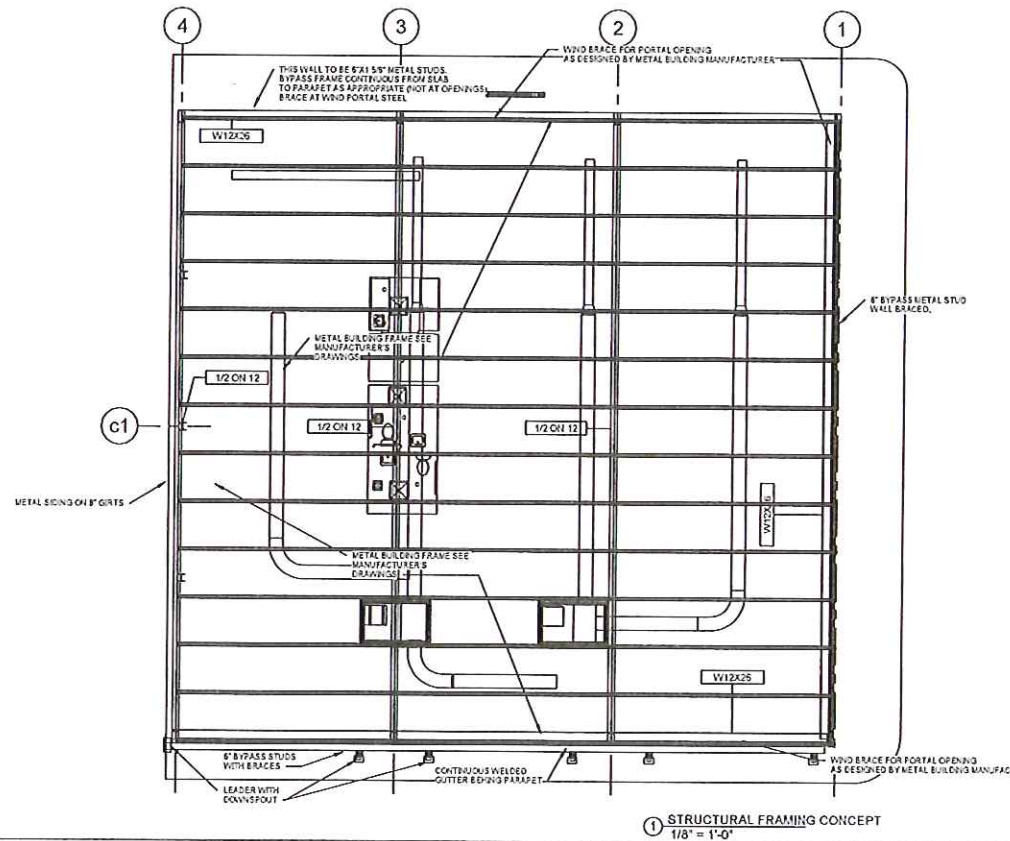
2 X BRACE DETAIL  
1" = 1'-0"



BUILDING MANUFACTURER MAY CHANGE WIND BRACING DETAIL TO COMPLY WITH THEIR DESIGN AND CALCULATIONS

3 X BRACE DETAIL AT SLAB  
1" = 1'-0"

FRAMING CONCEPT SHOWN, METAL BUILDING MANUFACTURER TO ENGINEER FRAMES, PORTAL FRAME DESIGN WITH FOOTINGS FOR APPROVAL. ALL SLAB CONNECTIONS, METAL BUILDING MANUFACTURER TO CONFIRM REACTIONS, FOOTING DESIGNS AND PLACEMENT WITH SOIL CONDITIONS AND PROVIDE APPROPRIATE ENGINEERED SLAB DESIGN AND BUILDING FRAME DESIGN WITH FOOTINGS FOR APPROVAL.



1 STRUCTURAL FRAMING CONCEPT  
1/8" = 1'-0"



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MBM Structural Frame  
Scale: As indicated

RELISH  
Relish  
Plantation Cove  
Gluckstadt, MS

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10/2/2017  
11:09:13  
AM

SHEET  
S3